



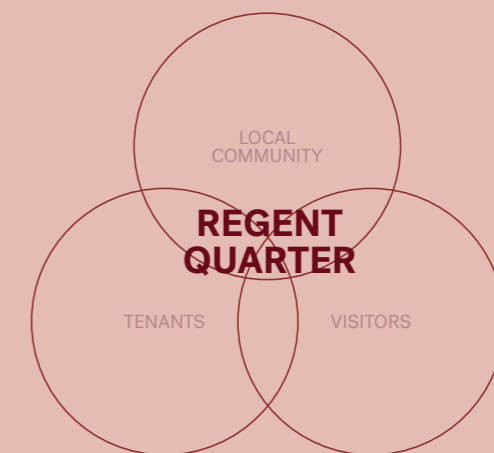
REGENT QUARTER

JAHN COURT

DESIGN & ACCESS STATEMENT

ADDENDUM B

MAY 2022



JAHN COURT INTRODUCTION



AERIAL AXONOMETRIC VIEW
JAHN COURT PROPOSAL

INTRODUCTION

The purpose of this document is to summarise the proposed design changes to the proposal for Jahn Court, following the deferral of the scheme by the LB Islington Planning Committee on 22nd February 2022.

The design changes have been informed by the comments received from the Planning Committee, in addition to continued consultation with local residents.

The key design changes are summarised below, with more detailed information provided throughout the rest of the document.

HEIGHT & MASSING - IMPACT OF DAYLIGHT & SUNLIGHT ON RESIDENTIAL BUILDINGS

The overall height of the proposed Jahn Court building has been reduced by 1.3m, by reducing the structural floor depths of the upper floor extension, and the heights of the roof plant.

The proposed massing has also been revised, with new step-backs introduced on the North and East elevations to significantly improve daylighting impact on the surrounding buildings.

These changes make the daylighting to Ironworks Building, The Copperworks, Albion Buildings, Albion Yard, 2 A Albion Walk and Balfe Street properties policy compliant or within BRE Guideline. Please see the separate report for this information.

HEIGHT & MASSING - IMPACT TO HERITAGE ASSETS & CONSERVATION AREA

As summarised above, the overall height of the proposal has been reduced by 1.3m, and step backs have been introduced to the upper floor extensions.

These changes have significantly reduced the visibility of the proposed extensions from York Way and Albion Yard, and have made the proposed extensions invisible from Ironworks Yard.

FURTHER ACTIVATION OF YORK WAY

Additional changes to the Jahn Building elevation have been made, including the introduction of glazed doors and retail canopies, and tables and chairs on the street to further improve the activation of York Way. A financial contribution of £70k under the S106 Agreement is also being made for improvements to the street / highway.

AFFORDABLE WORKSPACE OFFER

A revised offer for the affordable workspace has been proposed, with increased floor area and an improved lease length.

The proposed area is 241.1m² GIA, which is 10.7% of the revised office area uplift. The lease length has been increased from 10 to 20 years. The space has been relocated from 34B York Way into the ground floor of the main Jahn Court building.

ALBION YARD

The proposed flattening of cobbles to create a smooth East-West route in Albion Yard has been removed following residents' feedback. See revised landscape drawings for further information.

FLOOR AREA SCHEDULE

An updated floor area schedule is included to reflect the changes listed above.

DRAWINGS

The appendix contains updated drawings to reflect the changes listed above.

JAHN COURT AXONOMETRIC STUDY VIEW



PLANNING COMMITTEE SCHEME FEBRUARY 2022

- ① LEVEL 4 EXTENSION SET BACK BY **2.5M** [EAST] TO REDUCE VISIBILITY & DAYLIGHTING IMPACT
- ② PROPOSALS TO COURTYARDS REMOVED FOLLOWING DIALOGUE WITH RESIDENTS
- ③ IMPROVEMENTS TO JAHN BUILDING FRONTAGE TO INCREASE ACTIVITY & PERMEABILITY ON YORK WAY



REVISED PLANNING SCHEME MAY 2022

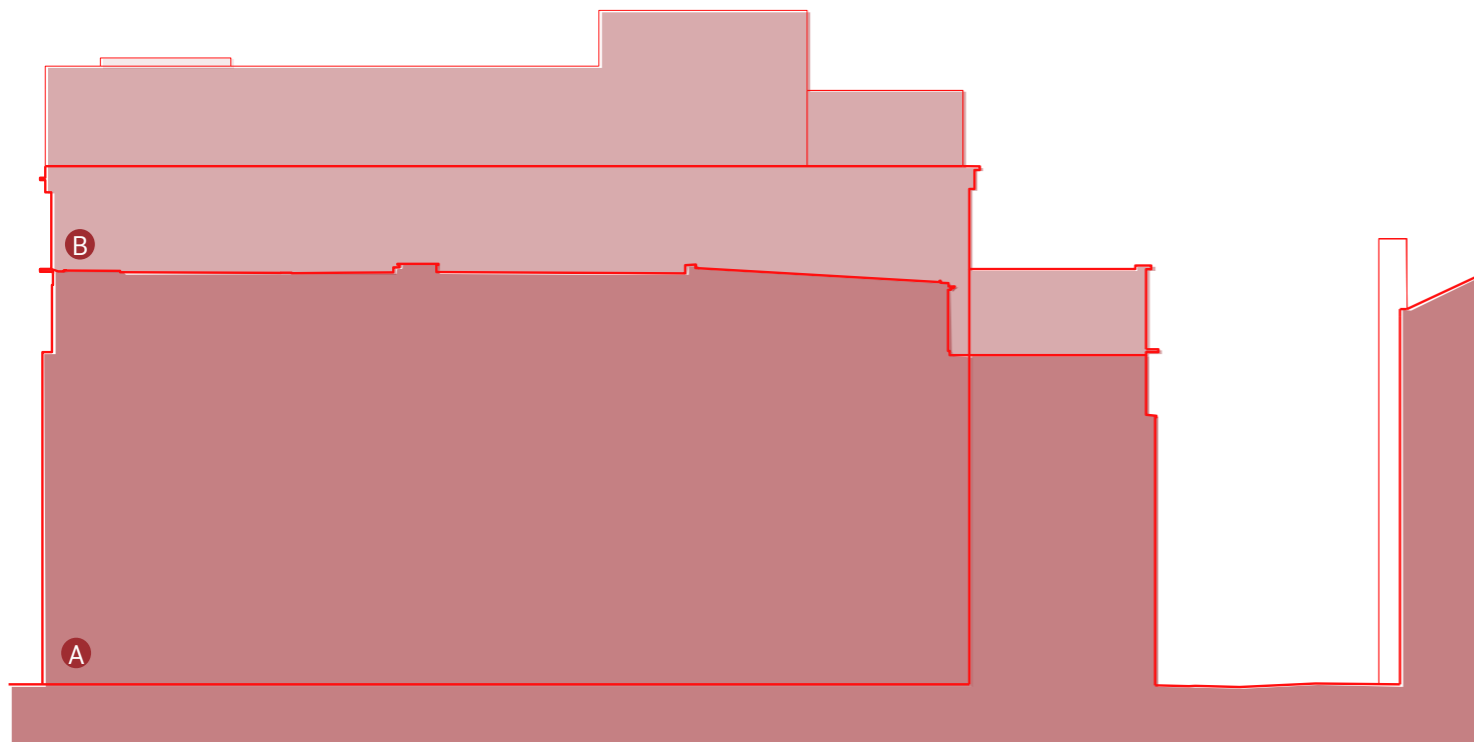
- ① LEVEL 5 GALLERY REDUCED IN HEIGHT BY **1M** AND ROOF PLANT BY **1.3M**
UPPER ROOF PLANT MASSING SET BACK BY **3.4M** [NORTH] & **3.0M** [EAST] TO REDUCE VISIBILITY & DAYLIGHTING IMPACT
LEVEL 5 GALLERY MASSING SET BACK BY **3.7M** [NORTH] & **1.1M** [EAST] TO REDUCE VISIBILITY & DAYLIGHTING IMPACT
- ② LEVEL 5 MASSING SET BACK BY **1.5M** TO REDUCE VISIBILITY & DAYLIGHTING IMPACT
- ③ LEVEL 4 EXTENSION SET BACK BY **2.8M** [NORTH] TO REDUCE VISIBILITY & DAYLIGHTING IMPACT
- ④ IMPROVEMENTS TO JAHN BUILDING FRONTAGE TO INCREASE ACTIVITY & PERMEABILITY ON YORK WAY

KEY CHANGES

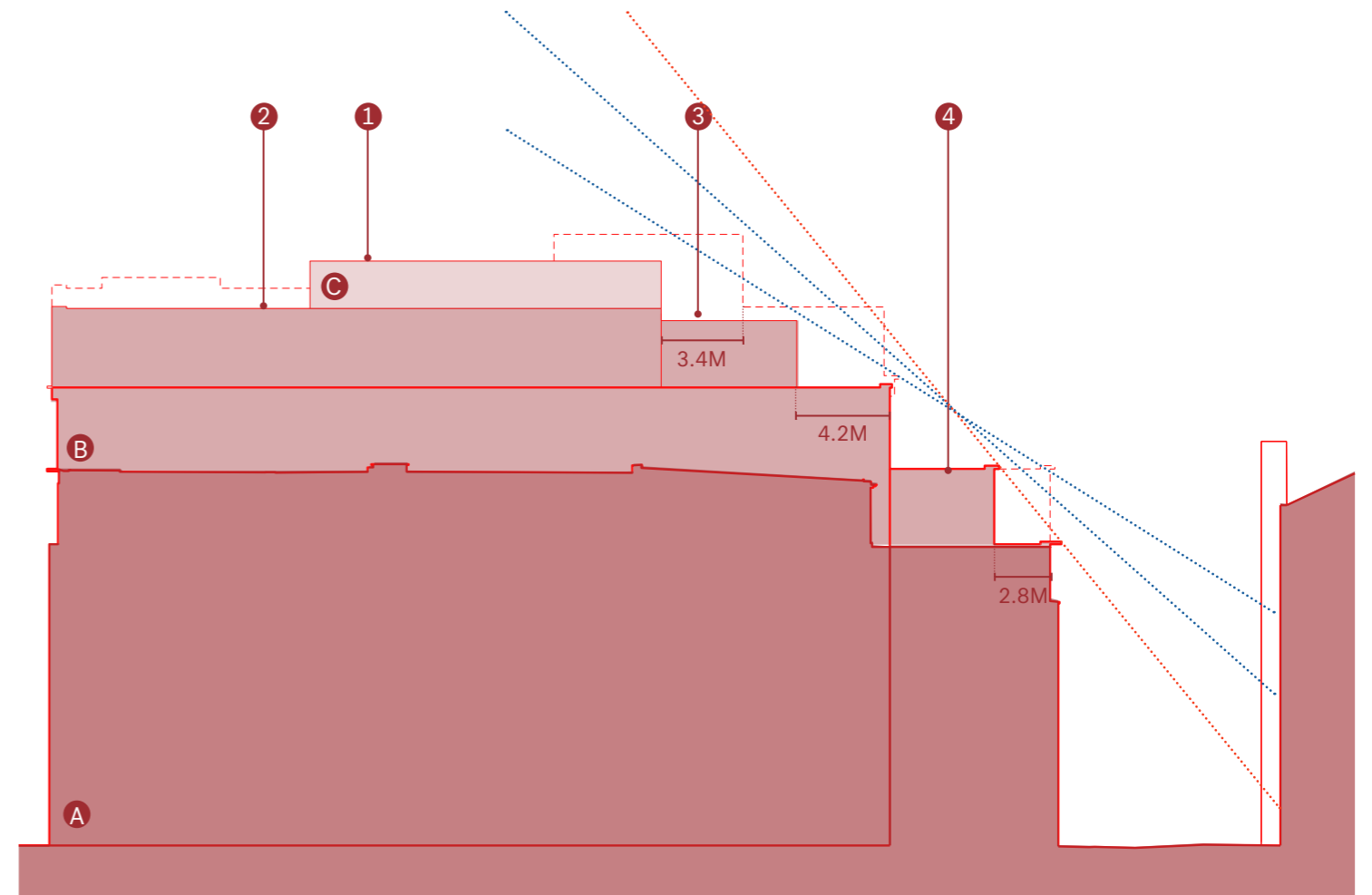
The key changes to the proposal are summarised in the image above - with further detail provided in the rest of this document.

Some adjustments were previously made to the original planning application prior to the February committee, following feedback from LB Islington and residents. These are noted on the Planning Committee proposal axonometric on the left side of the page.

JAHN COURT DAYLIGHTING SECTIONS



PLANNING COMMITTEE SCHEME FEBRUARY 2022

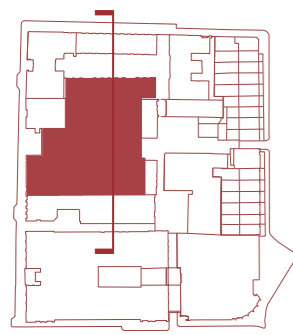


REVISED PLANNING SCHEME MAY 2022

KEY

- ① UPPER ROOF PLANT RECONFIGURED & SET BACK **3.4M**
1.3M REDUCTION IN HEIGHT
- ② L05 GALLERY **1.0M** REDUCTION IN HEIGHT
- ③ LOWER ROOF PLANT SET BACK BY **4.2M**
1.15M REDUCTION IN HEIGHT
- ④ L04 EXTENSION SET BACK BY **2.8M**

- SIGHT LINE FROM EYE LEVEL AT GROUND
- SIGHT LINE FROM IRONWORKS WINDOWS



KEY ELEMENTS

- Ⓐ Existing
- Ⓑ Proposed
- Ⓒ Proposed [Set Back]

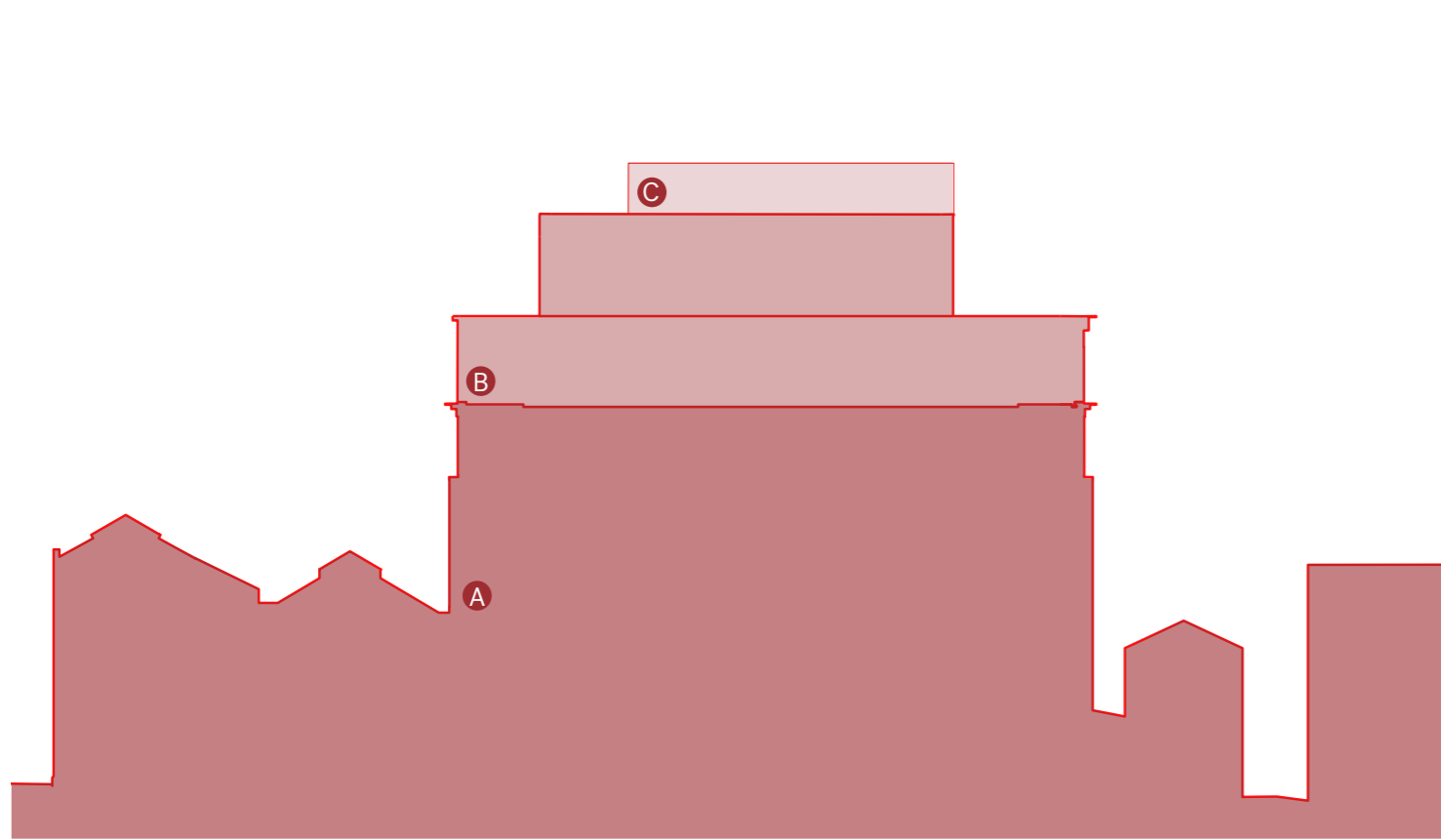
MASSING - IMPACT OF DAYLIGHT & SUNLIGHT ON RESIDENTIAL BUILDINGS

The overall height of the proposed Jahn Court building has been reduced by 1.3m, by reducing the structural floor depths of the upper floor extension, and the heights of the roof plant.

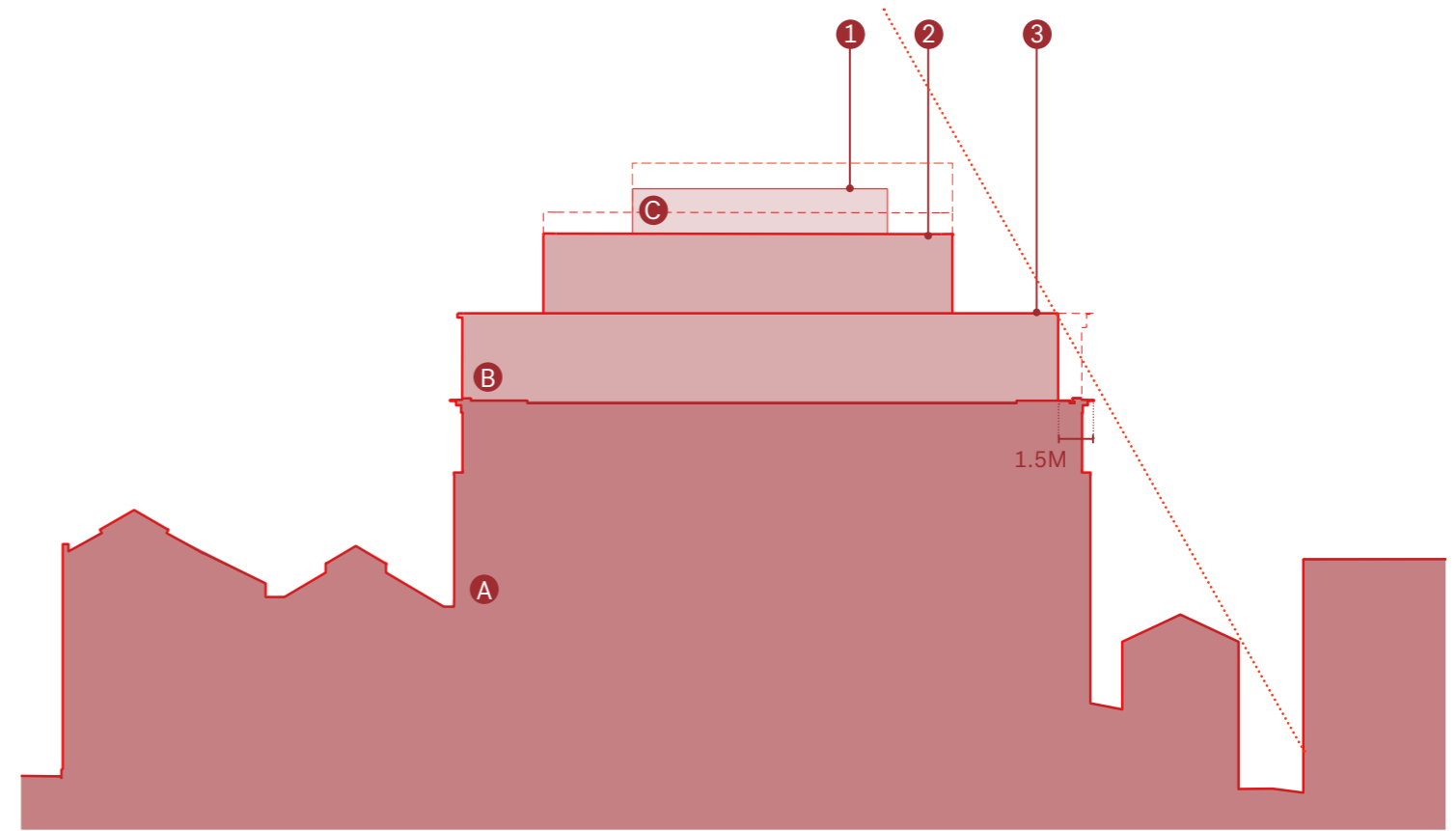
The proposed massing has also been revised, with new step-backs introduced on the North and East elevations to significantly improve daylighting impact on the surrounding buildings.

These changes make the daylighting to Ironworks Building, The Copperworks, Albion Buildings, Albion Yard, 2 A Albion Walk and Balfe Street properties policy compliant or within BRE Guideline. Please see the separate report for this information.

JAHN COURT DAYLIGHTING SECTIONS



PLANNING COMMITTEE SCHEME FEBRUARY 2022



REVISED PLANNING SCHEME MAY 2022

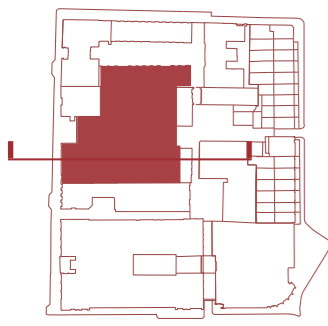
KEY

- ① UPPER ROOF PLANT RECONFIGURED & SET BACK **3.0M**
1.3M REDUCTION IN HEIGHT
- ② L05 GALLERY **1.0M** REDUCTION IN HEIGHT
- ③ L05 EXTENSION SET BACK BY **1.5M**

..... SIGHT LINE FROM
EYE LEVEL AT GROUND

KEY ELEMENTS

- A Existing
- B Proposed
- C Proposed [Set Back]

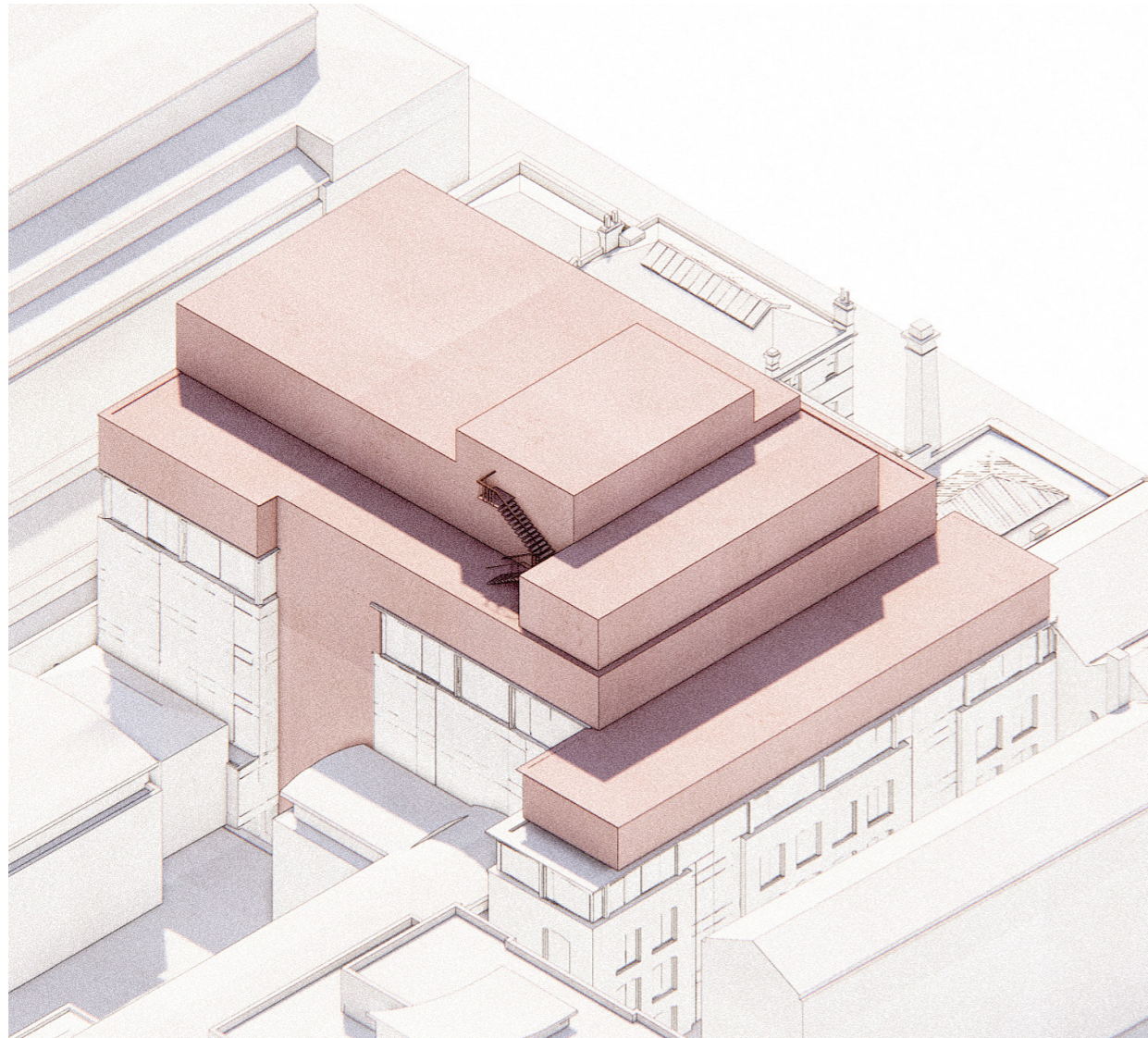


MASSING - IMPACT OF DAYLIGHT & SUNLIGHT ON RESIDENTIAL BUILDINGS

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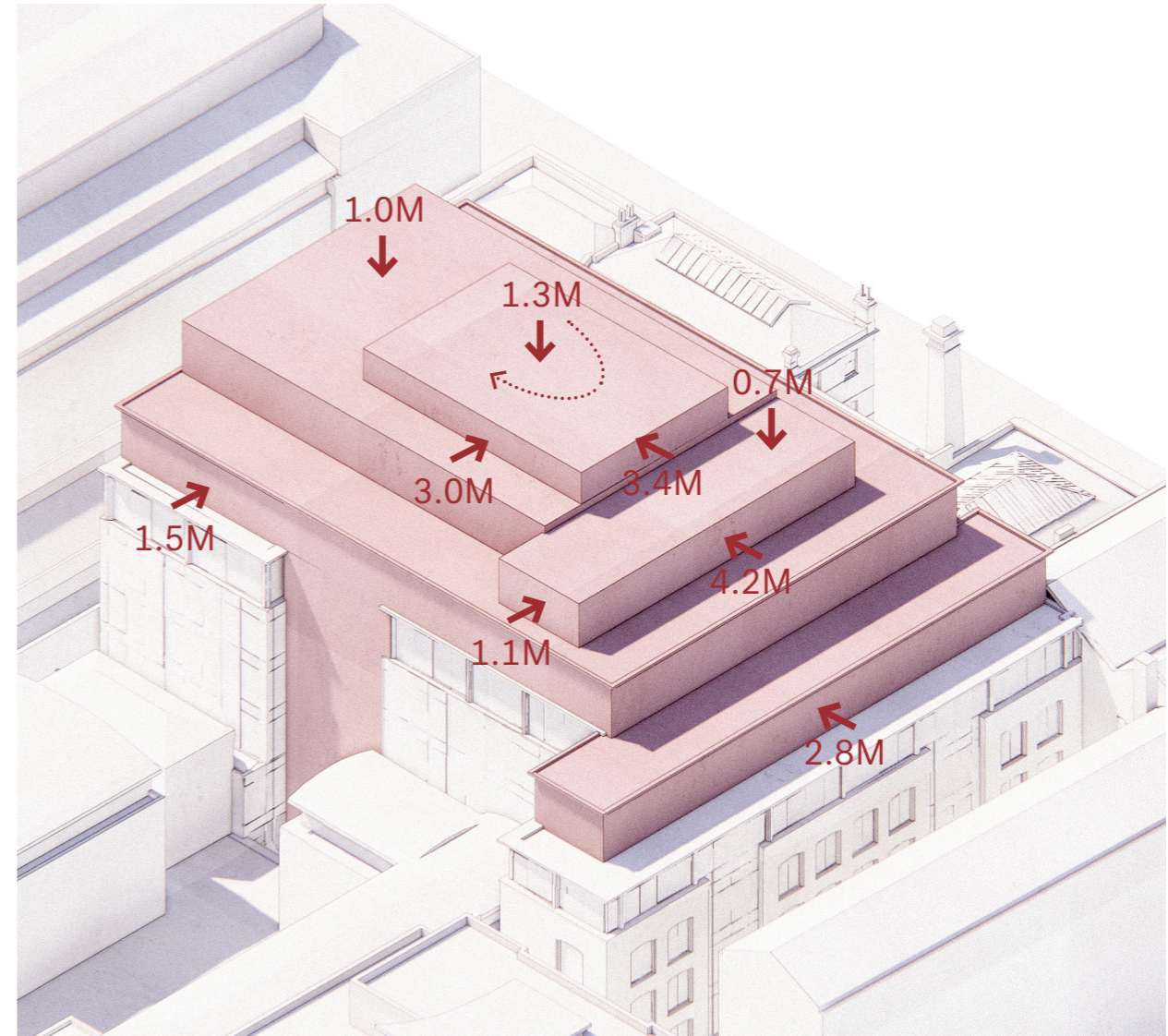
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PLANNING COMMITTEE SCHEME FEBRUARY 2022

KEY CHANGES

- BUILDING SET BACKS TO IMPROVE DAYLIGHTING TO IRONWORKS BUILDING & VISIBILITY FROM IRONWORKS YARD
- BUILDING SET BACK TO IMPROVE DAYLIGHTING TO ALBION BUILDING & VISIBILITY FROM ALBION YARD
- L05 GALLERY HEIGHT REDUCED BY 1000MM
- ADDITIONAL 300MM ROOF PLANT HEIGHT REDUCTION
- ROOF PLANT ROTATED TO REDUCE VISIBILITY
- L05G STAIR CORE SET BACK



REVISED PLANNING SCHEME MAY 2022

MASSING - REDUCED HEIGHT & IMPROVED DAYLIGHTING

The overall height of the proposed Jahn Court building has been reduced by 1.3m, by reducing the structural floor depths of the upper floor extension, and the heights of the roof plant.

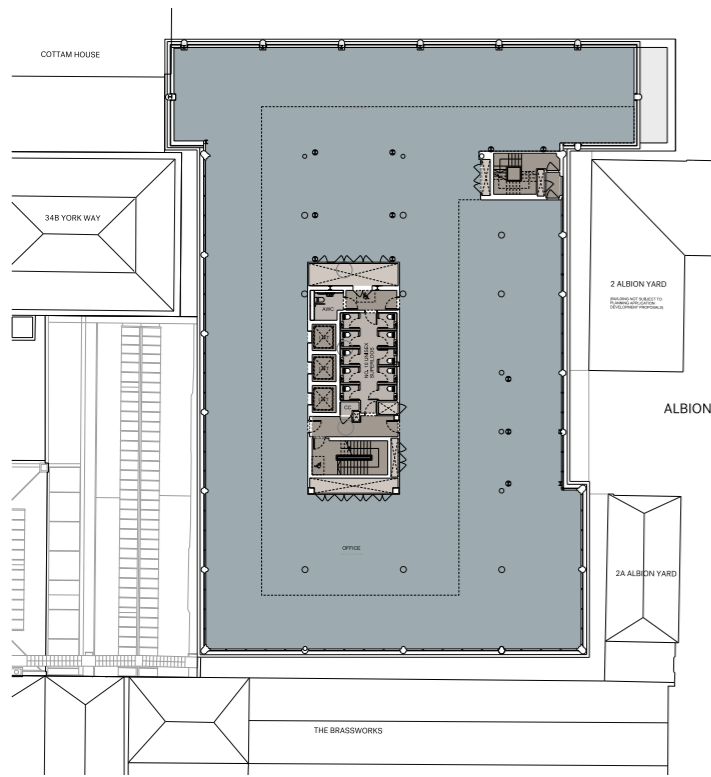
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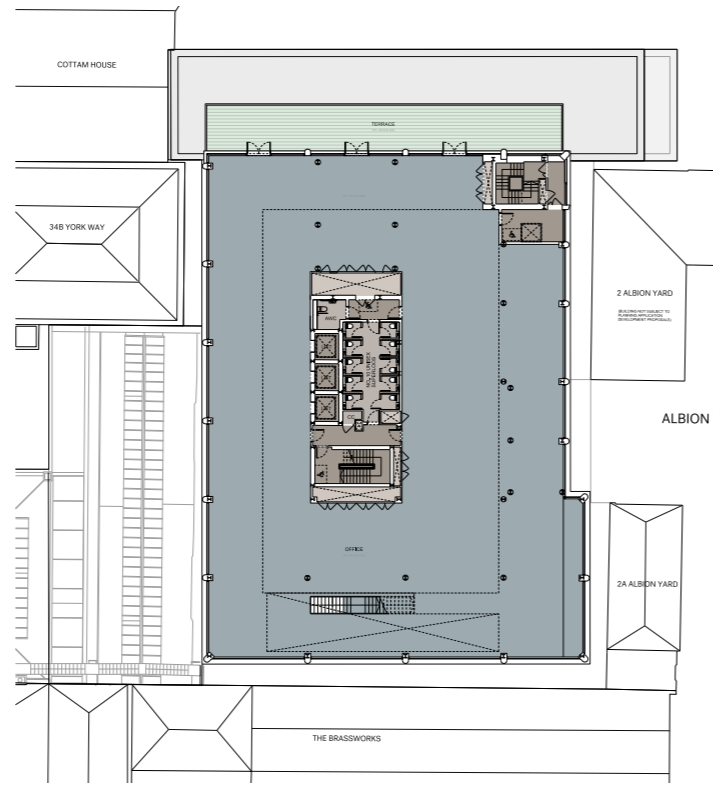
These changes have also significantly reduced the visibility of the proposed extensions from York Way and Albion Yard, and have made the proposed extensions invisible from Ironworks Yard.

JAHN COURT

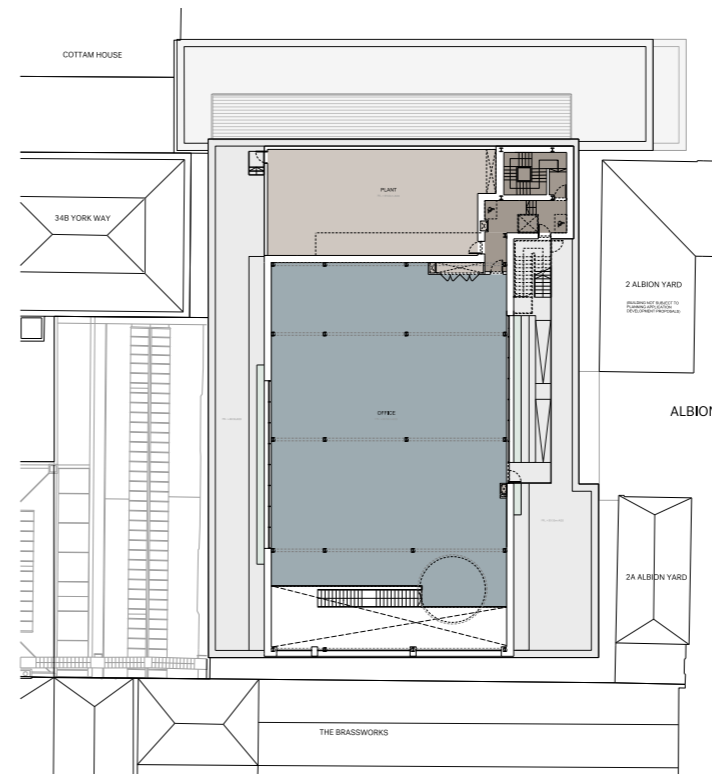
MASSING ALTERATIONS - UPPER PLANS



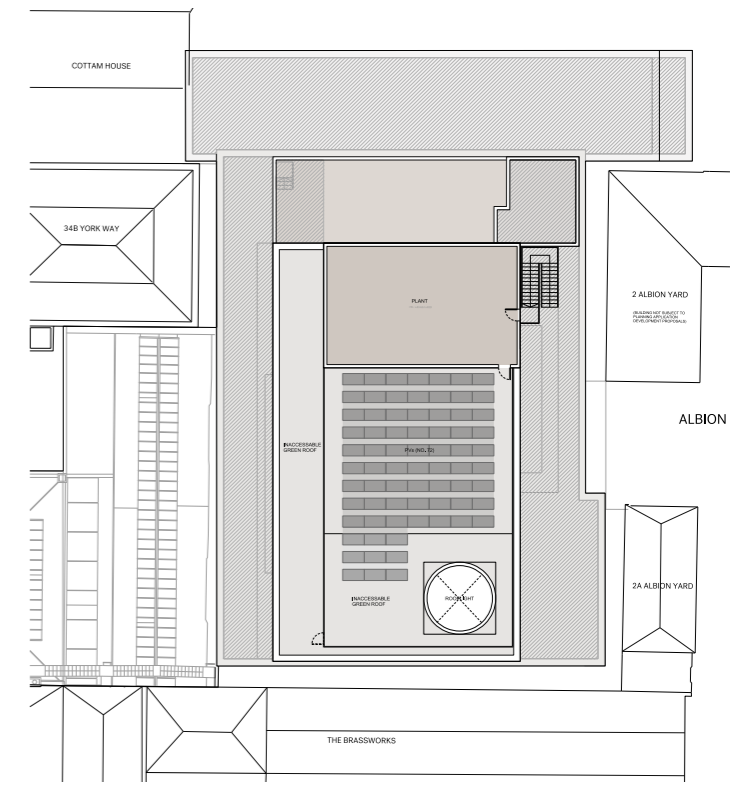
L04 PLANNING COMMITTEE SCHEME FEBRUARY 2022



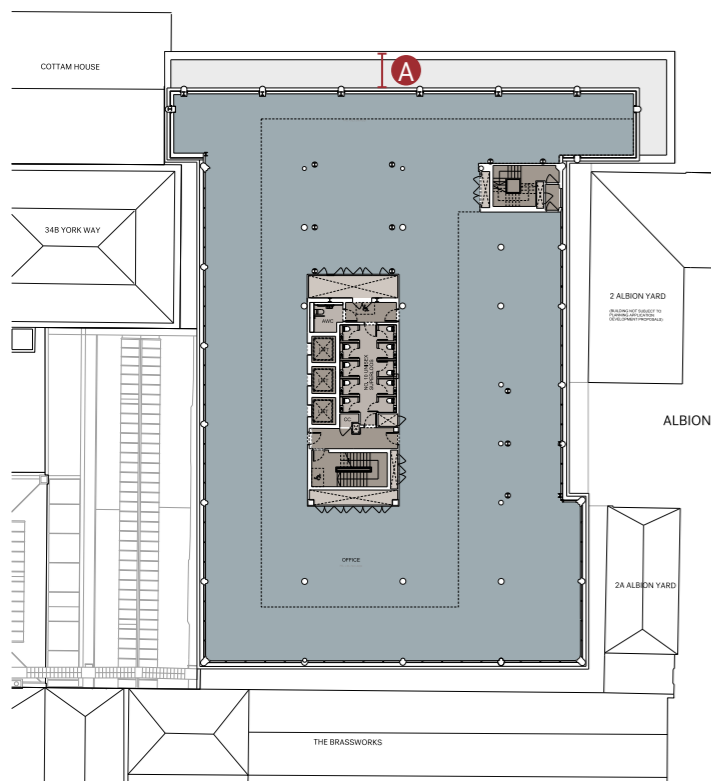
L05 PLANNING COMMITTEE SCHEME FEBRUARY 2022



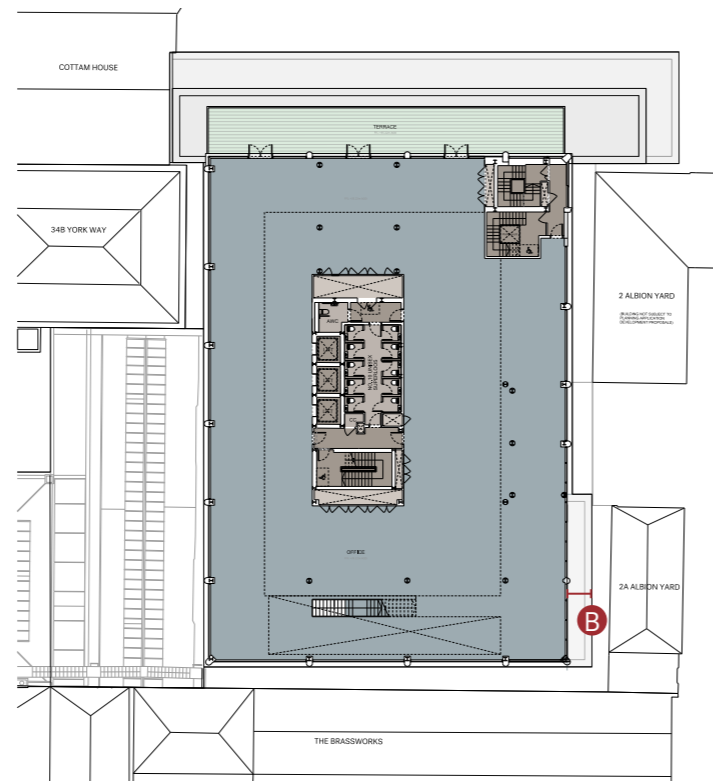
L05G PLANNING COMMITTEE SCHEME FEBRUARY 2022



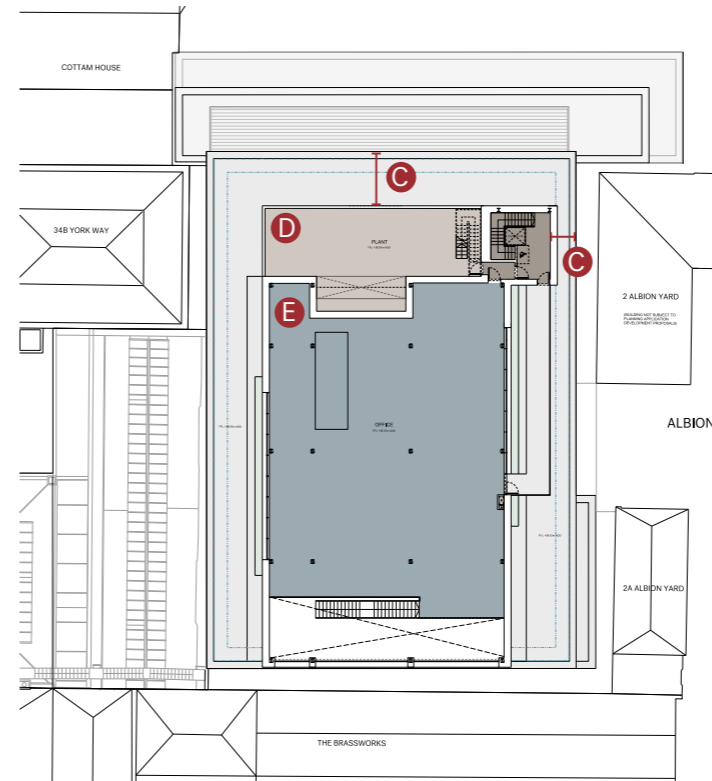
ROOF PLANNING COMMITTEE SCHEME FEBRUARY 2022



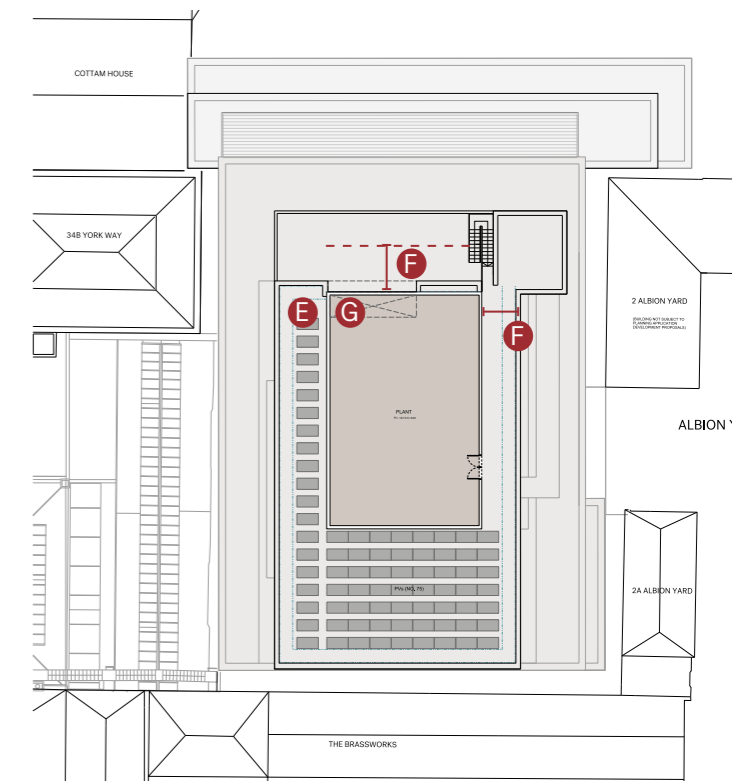
L04 REVISED PLANNING PROPOSAL
A L04 EXTENSION SET BACK BY 2.8M



L05 REVISED PLANNING PROPOSAL
B L05 SET BACK 1.5M IN SOUTH-EAST CORNER

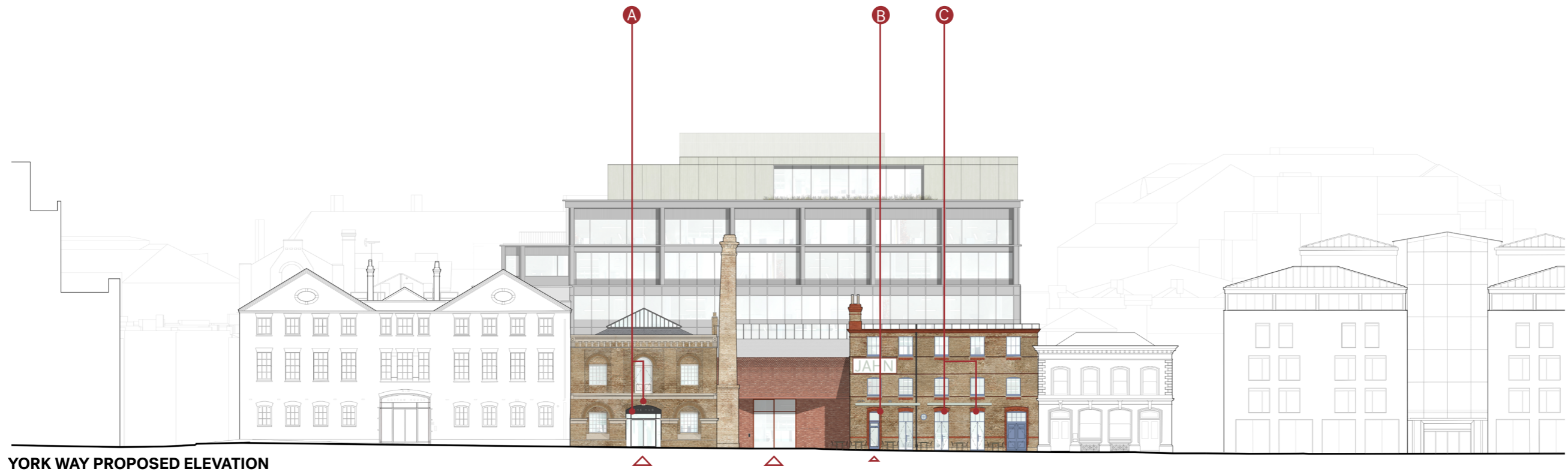


L05G REVISED PLANNING PROPOSAL
C MASSING SET BACK 3.7M FROM NORTH & 1.6M FROM EAST
D PLANT HEIGHT REDUCED BY 700MM
E L05G ROOF HEIGHT REDUCED BY 1000MM



ROOF REVISED PLANNING PROPOSAL
E L05G ROOF HEIGHT REDUCED BY 1000MM
F MASSING SET BACK 3.4M FROM NORTH & 3.0M FROM EAST
G PLANT HEIGHT REDUCED BY 300MM
 TOTAL REDUCTION 1.3M [INC. L05G REDUCTION]

JAHN COURT
YORK WAY ACTIVATION



YORK WAY PROPOSED ELEVATION



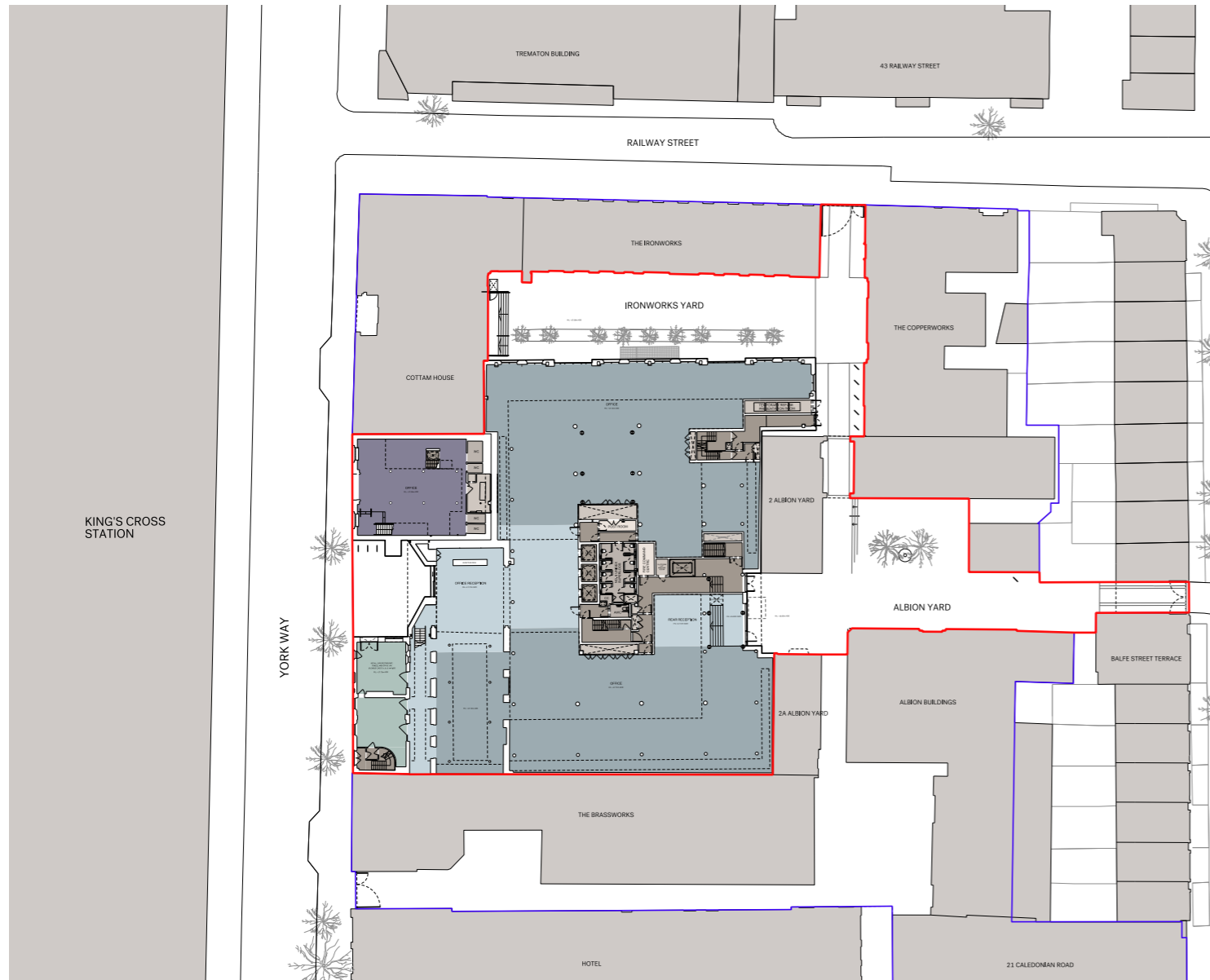
- A** Door to be replaced with glazed door subject to further consideration and to be dealt with by planning condition. Existing flagpole retained as potential location for future signage.
- B** Door to be replaced with glazed door subject to further consideration and to be dealt with by planning condition.
- C** Cills to existing windows dropped to create series of additional doorways onto York Way.

YORK WAY IMPROVEMENTS

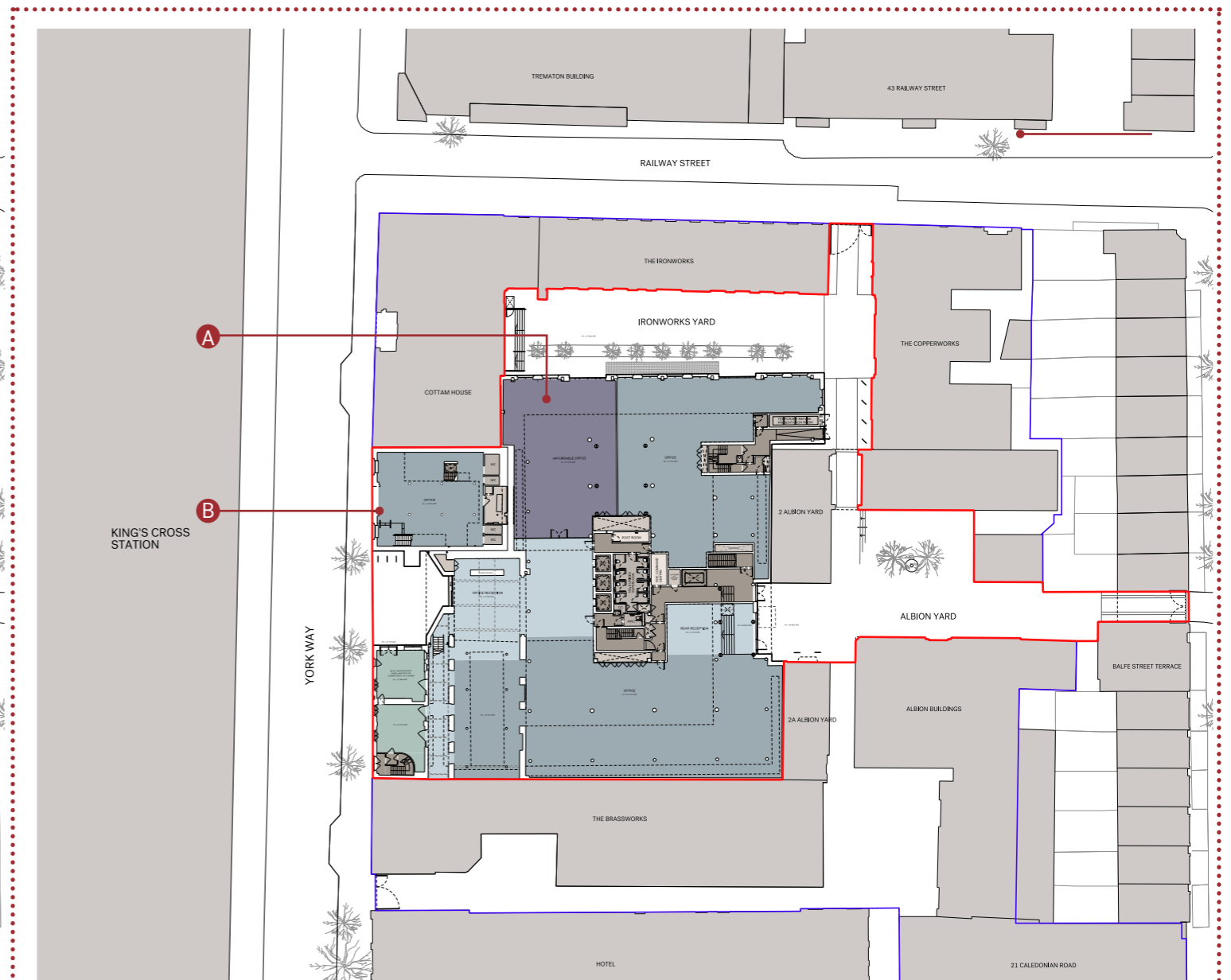
Improvements to ground floor glazing, entry doors, and the introduction of an active ground floor use are proposed to improve the proposal's connectivity and 'activation' of York Way.

Following feedback from LB Islington, existing ground floor windows in the Jahn Building have been modified to become glazed doors, retail canopies have been introduced, and space allocated for tables and chairs on the street, to further improve the activation of York Way. A financial contribution of £70k under the S106 Agreement is also being made for improvements to the street / highway.

JAHN COURT AFFORDABLE WORKSPACE PROVISION



GROUND FLOOR PLAN
ORIGINAL PLANNING PROPOSAL



GROUND FLOOR PLAN
REVISED PLANNING PROPOSAL

- A** Revised affordable workspace location located in L00 in Jahn Court.
241.1m² GIA [10.7% of office area uplift]
20 year lease.
- B** 34B York Way reallocated to standard office use.

AFFORDABLE WORKSPACE OFFER

A revised offer for the affordable workspace has been proposed, with increased floor area and an improved lease length.

The proposed area is 241.1m² GIA, which is 10.7% of the revised office area uplift. The lease length has been increased from 10 to 20 years.

The space has been relocated from 34B York Way into the ground floor of the main Jahn Court building.

STUDY VIEW
YORK WAY ENTRANCE



PLANNING COMMITTEE SCHEME FEBRUARY 2022



REVISED PLANNING SCHEME MAY 2022

MASSING

- Reduction in height of L05 Gallery further reduces visibility in this view.

YORK WAY ACTIVATION

- Active mixed-use unit in 34 York Way
- Window cills dropped to create openings onto York Way
- Active frontage with external tables & chairs
- Awning & signage
- New glazed door to 34B York Way



EXISTING VIEW

STUDY VIEW
ALBION YARD



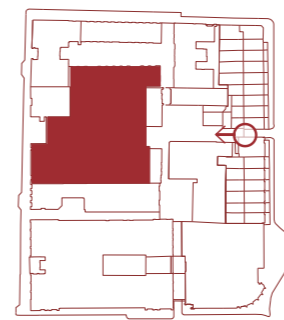
PLANNING COMMITTEE SCHEME FEBRUARY 2022



REVISED PLANNING SCHEME MAY 2022

MASSING

- Overall height reduced by 1.3m
- Massing refined with further setbacks introduced to improve daylighting to surrounding residential buildings
- Extensions less visible from Albion Yard.



EXISTING VIEW

STUDY VIEW
IRONWORKS YARD



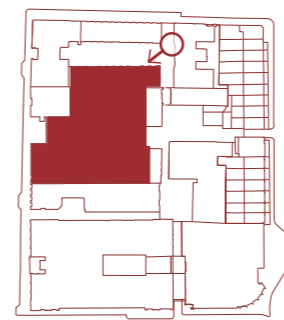
PLANNING COMMITTEE SCHEME FEBRUARY 2022



REVISED PLANNING SCHEME MAY 2022

MASSING

- Overall height reduced by 1.3m
- Massing refined with further setbacks introduced to improve daylighting to surrounding residential buildings
- Extension no longer visible from Ironworks Yard.



EXISTING VIEW

STUDY VIEW
YORK WAY - LOOKING SOUTH EAST



PLANNING COMMITTEE SCHEME FEBRUARY 2022



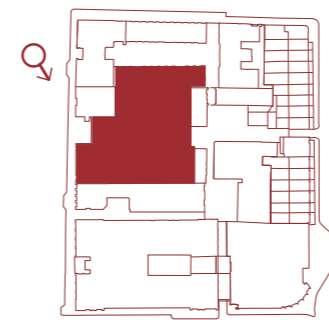
REVISED PLANNING SCHEME MAY 2022

MASSING

- Reduction in height of L05 Gallery further reduces visibility in this view.

YORK WAY ACTIVATION

- Active mixed-use unit in 34 York Way
- Window cills dropped to create openings onto York Way
- Active frontage with external tables & chairs
- Awning & signage
- New glazed door to 34B York Way



EXISTING VIEW

STUDY VIEW
YORK WAY - LOOKING NORTH EAST



PLANNING COMMITTEE SCHEME FEBRUARY 2022



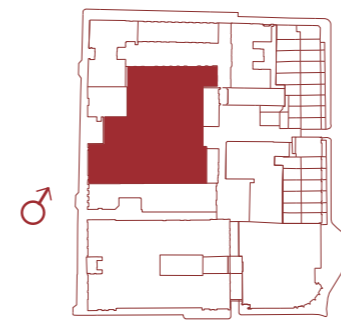
REVISED PLANNING SCHEME MAY 2022

MASSING

- Reduction in height of L05 Gallery further reduces visibility in this view.

YORK WAY ACTIVATION

- Active mixed-use unit in 34 York Way
- Window cills dropped to create openings onto York Way
- Active frontage with external tables & chairs
- Awning & signage
- New glazed door to 34B York Way



EXISTING VIEW

JAHN COURT
FLOOR AREA SCHEDULE

JAHN COURT

USE CLASS	EXISTING				PROPOSED				UPLIFT				
	GIA		GEA		GIA		GEA		GIA		GEA		
	Sq m	Sq Ft	Sq m	Sq Ft	Sq m	Sq Ft	Sq m	Sq Ft	Sq m	Sq Ft	Sq m	Sq Ft	
LB1	Office	1,010.7	10,879	1,020.4	10,983	1,071.1	11,529	1,070.8	11,526	60.4	650	50.4	543
L00	Office	1,863.6	20,060	1,950.7	20,997	1,545.6	16,637	1,597.5	17,195	-318.0	-3,423	-353.2	-3,802
	Affordable Office	-	-	-	-	241.9	2,604	257.6	2,773	241.9	2,604	257.6	2,773
	Retail, Café/Restaurant, Fitness & Office Use Flexible Class E (a), (b), (d) & (g)(i)	-	-	-	-	89.3	961	104.9	1,129	89.3	961	104.9	1,129
L01	Office	1,508.2	16,234	1,611.0	17,341	1,621.9	17,458	1,731.1	18,633	113.7	1,224	120.1	1,293
L02	Office	1,373.9	14,789	1,441.3	15,514	1,477.5	15,904	1,535.4	16,527	103.6	1,115	94.1	1,013
L03	Office	1,282.9	13,809	1,337.8	14,400	1,386.6	14,925	1,433.2	15,427	103.7	1,116	95.4	1,027
L04	Office	842.2	9,065	884.8	9,524	1,217.8	13,108	1,255.5	13,514	375.6	4,043	370.7	3,990
L05	Office	-	-	-	-	1,037.8	11,171	1,063.0	11,442	1,037.8	11,171	1,063.0	11,442
L06	Office	-	-	-	-	442.9	4,767	505.5	5,441	442.9	4,767	505.5	5,441
TOTAL	Office	7,881.5	84,836	8,246.0	88,759	10,132.4	109,064	10,554.5	113,608	2,250.9	24,228	2,308.5	24,848

34B YORK WAY

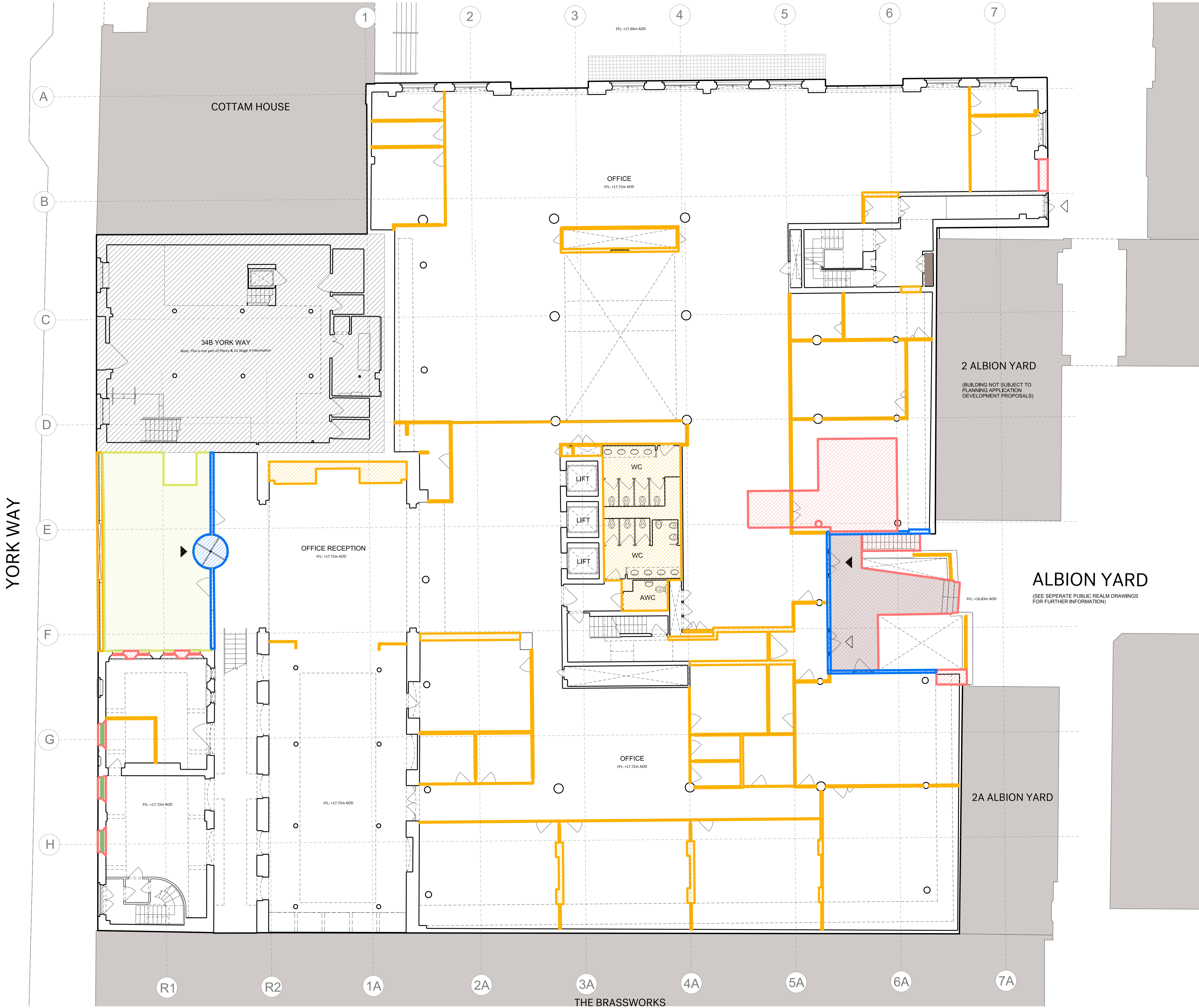
USE CLASS	EXISTING				PROPOSED				UPLIFT				
	GIA		GEA		GIA		GEA		GIA		GEA		
	Sq m	Sq Ft	Sq m	Sq Ft	Sq m	Sq Ft	Sq m	Sq Ft	Sq m	Sq Ft	Sq m	Sq Ft	
L00	Office	170.6	1,836	206.2	2,220	170.6	1,836	206.2	2,220	-	-	-	-
L01	Office	69.9	752	110.0	1,184	69.9	752	110.0	1,184	-	-	-	-
L02	Office	148.2	1,595	179.2	1,929	148.2	1,595	179.2	1,929	-	-	-	-
TOTAL	Office	388.7	4,184	495.4	5,332	388.7	4,184	495.4	5,332	-	-	-	-

AREA SCHEDULES

Updated floor area schedule to reflect the changes to massing and use class.

APPENDIX

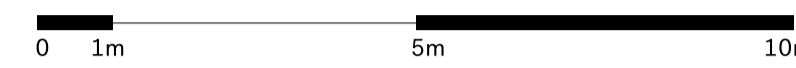
UPDATED DRAWINGS



Notes
 This drawing is copyright Piercy&Company.
 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.
 Report all drawing errors, omissions and discrepancies to the architect.

DISCLAIMER
 This document may be issued in an editable digital CAD format to enable others to use it as background information to make alterations and/or additions. In that instance the file will be accompanied by a PDF version as a record of the original file. It is for those parties making such alterations and/or additions to ensure that they make use of current background information.

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- KEY**
- Demolition
 - Strip-Out
 - Facade Removal
 - Window / Door Replacement
 - Pavement Removal
 - Site Boundary

- Outline scope**
- Remove all loose fittings, furniture and equipment.
 - Remove all fixed furniture including reception desks.
 - Strip out all internal glazed and plasterboard partitioning, internal doors and and FF&E to be removed. For WCs, contractor to price for option where WC area perimeter wall is retained and only walls in hatched area are removed.
 - Remove non-loadbearing internal blockwork walls.
 - Glazing to be retained and protected where cladding retained.
 - All tea points & kitchen areas to be stripped back (to be capped and made safe).
 - All WCs, cubicles, and sanitary ware to be stripped out (to be capped and made safe).
 - All light fittings to be removed. Emergency lighting to be installed in lieu.
 - All redundant plant equipment to be removed; refer to MEP engineers strip out drawing and specification.
 - All marked external cladding, doors, and gates to be removed. All cladding outside of hatch to be retained.
 - Temporary fire protection measures to be proposed by contractor where required and to meet fire engineer's performance requirements.
 - Temporary measures require risk assessments and to form part of contractor's CDN health and safety information; refer to fire strategy.

- Floors**
- All existing floor finishes, floor systems, below floor MEP equipment (inc. raised access pedestals, mechanical fixings and adhesive) to be removed to slab; refer to MEP engineers strip out drawings and specification.

- Ceilings**
- All existing ceiling tiles, feature ceiling elements, MEP elements to be removed. Light fittings, tenant-specific fittings and statutory fittings to be removed.
 - All existing ceilings, ceiling finishes and fittings to be removed.

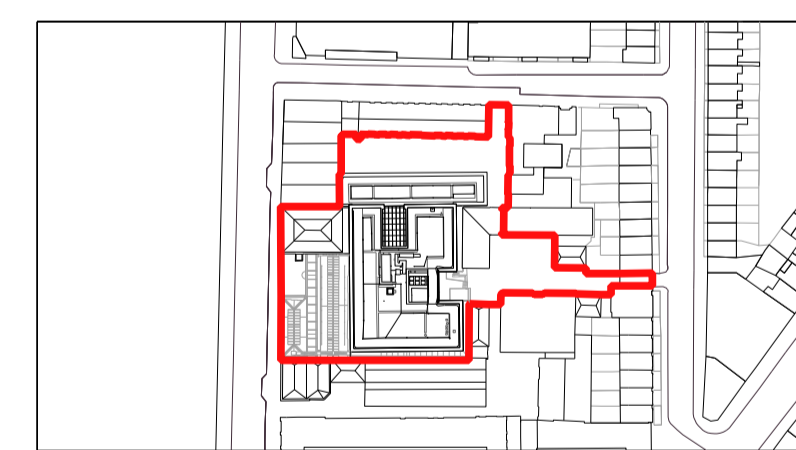
- Roof**
- All roof finishes and associated layers down to concrete slab, inclusive of screed, void former, raised access floor and/or mild steel sub-frame to be removed
 - Remove redundant plant equipment; refer to MEP engineers strip out drawing and specification.

- Lift / Lift Lobbies**
- All lift lobby wall finishes to be stripped back; signage to be removed.
 - Existing lift destination control cabling, control panels, doors and architraves to be removed; lift cars to be removed.

- Items to be agreed following initial test floor**
- All ceiling / soffit finishes.
 - All column casings to be removed back to structure.

- Items to be discussed with client / reviewed on site**
- Stair handrails.
 - Internal linings to existing facade.

P1	05.05.22	Planning Update
-	30.07.21	Planning
Rev	Date	Description



Project
 Regent Quarter - Jahn Court
Client
 Endurance Land
Date
 30.07.21
Drawing Title
 L00 - Demolition

Drawn	Checked	Approved
CG	GW	ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	L00-	02-	100	P1

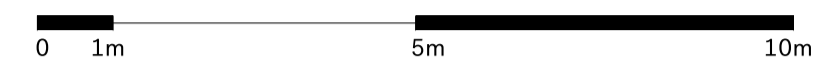
The Centro Building
 39 Plender Street
 London NW1 0DT
 Telephone
 *44 (0)2074249611
 info@piercyandco.com
 www.piercyandco.com



Notes
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 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.
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- KEY**
- Demolition
 - Strip-Out
 - Facade Removal
 - Window / Door Replacement
 - Pavement Removal
 - Site Boundary

**GENERAL STRIP OUT NOTES
 APPLIES TO ALL FLOOR LEVELS IN SCOPE**

- Outline scope**
- Remove all loose fittings, furniture and equipment.
 - Remove all fixed furniture including reception desks.
 - Strip out all internal glazed and plasterboard partitioning, internal doors and and
- All tea points & kitchen areas to be stripped back (to be capped and made safe).
 • All WCs, cubicles, and sanitary ware to be stripped out (to be capped and made safe).
 • All light fittings to be removed. Emergency lighting to be installed in lieu.
 • All redundant plant equipment to be removed; refer to MEP engineers strip out drawing and specification.
 • All marked external cladding, doors, and gates to be removed. All cladding outside of hatch to be retained.
 • Temporary fire protection measures to be proposed by contractor where required and to meet fire engineer's performance requirements.
 • Temporary measures require risk assessments and to form part of contractor's CDN health and safety information; Refer to fire strategy.

- Floors**
- All existing floor finishes, floor systems, below floor MEP equipment (inc. raised access pedestals, mechanical fixings and adhesive) to be removed to slab; refer to MEP engineers strip out drawings and specification.

- Ceilings**
- All existing ceiling tiles, feature ceiling elements, MEP elements to be removed. Light fittings, tenant-specific fittings and statutory fittings to be removed.
 - All existing ceilings, ceiling finishes and fittings to be removed.

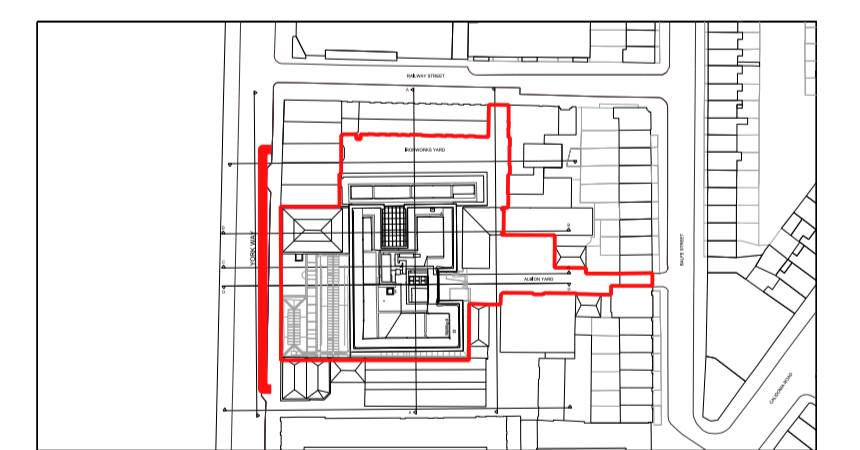
- Roof**
- All roof finishes and associated layers down to concrete slab, inclusive of screed, void former, raised access floor and/or mild steel sub-frame to be removed
 - Remove redundant plant equipment; refer to MEP engineers strip out drawing and specification.

- Lift / Lift Lobbies**
- All lift lobby wall finishes to be stripped back; signage to be removed.
 - Existing lift destination control cabling, control panels, doors and architraves to be removed; lift cars to be removed.

- Items to be agreed following initial test floor**
- All ceiling / soffit finishes.
 - All column casings to be removed back to structure.

- Items to be discussed with client / reviewed on site**
- Stair handrails.
 - Internal linings to existing facade.

Rev	Date	Description
P1	05.05.22	Planning Update
-	30.07.21	Planning



Project
 Regent Quarter - Jahn Court

Client
 Endurance Land

Date	Scale
30.07.21	1:100@A1 1:200@A3

Drawing Title
 West Elevation - Demolition

Drawn	Checked	Approved
CG	GW	ML

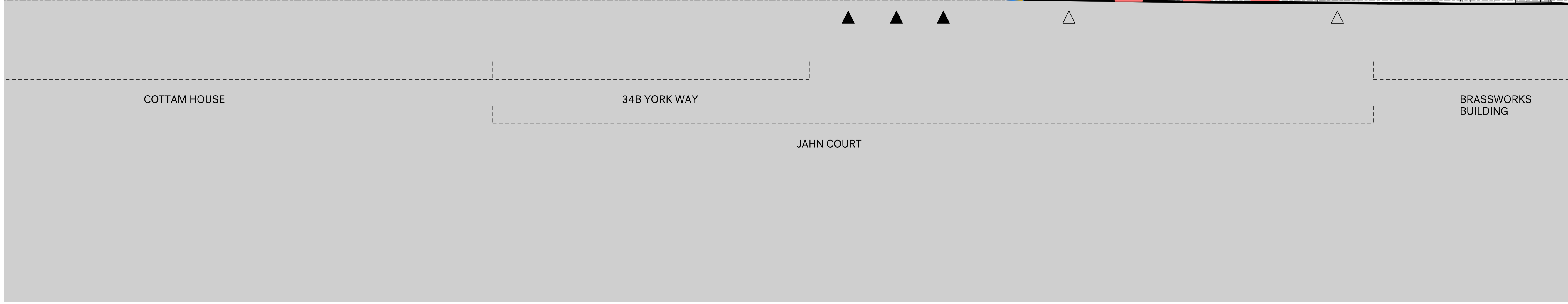
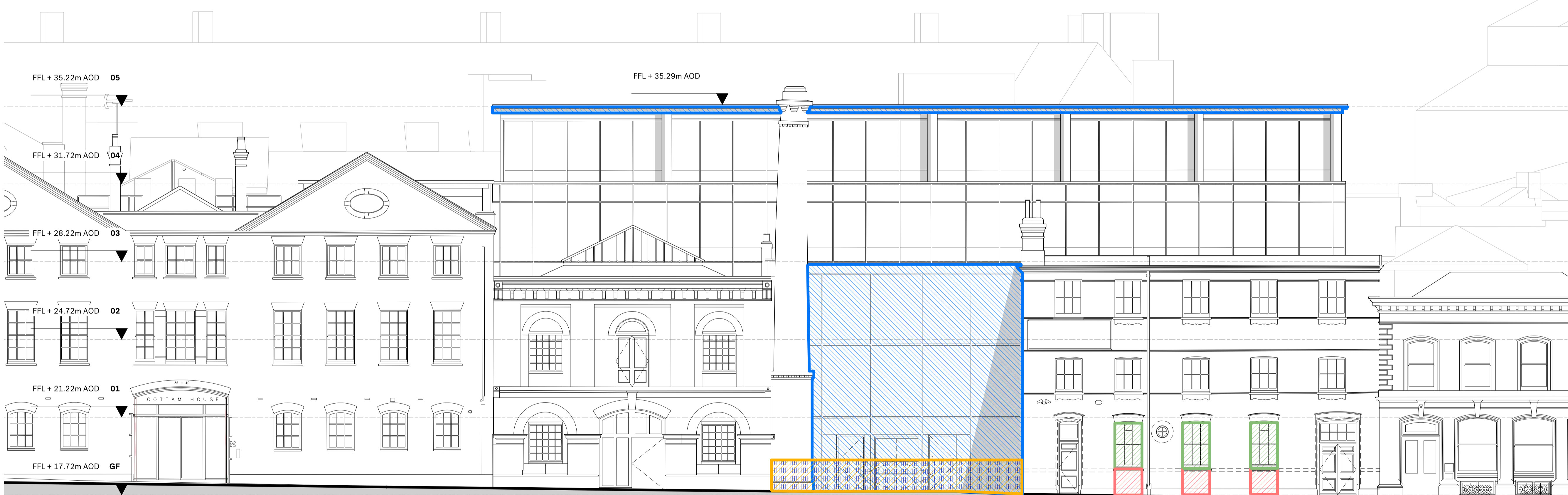
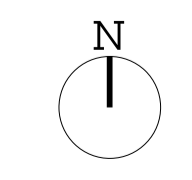
Drawing Status
 Planning

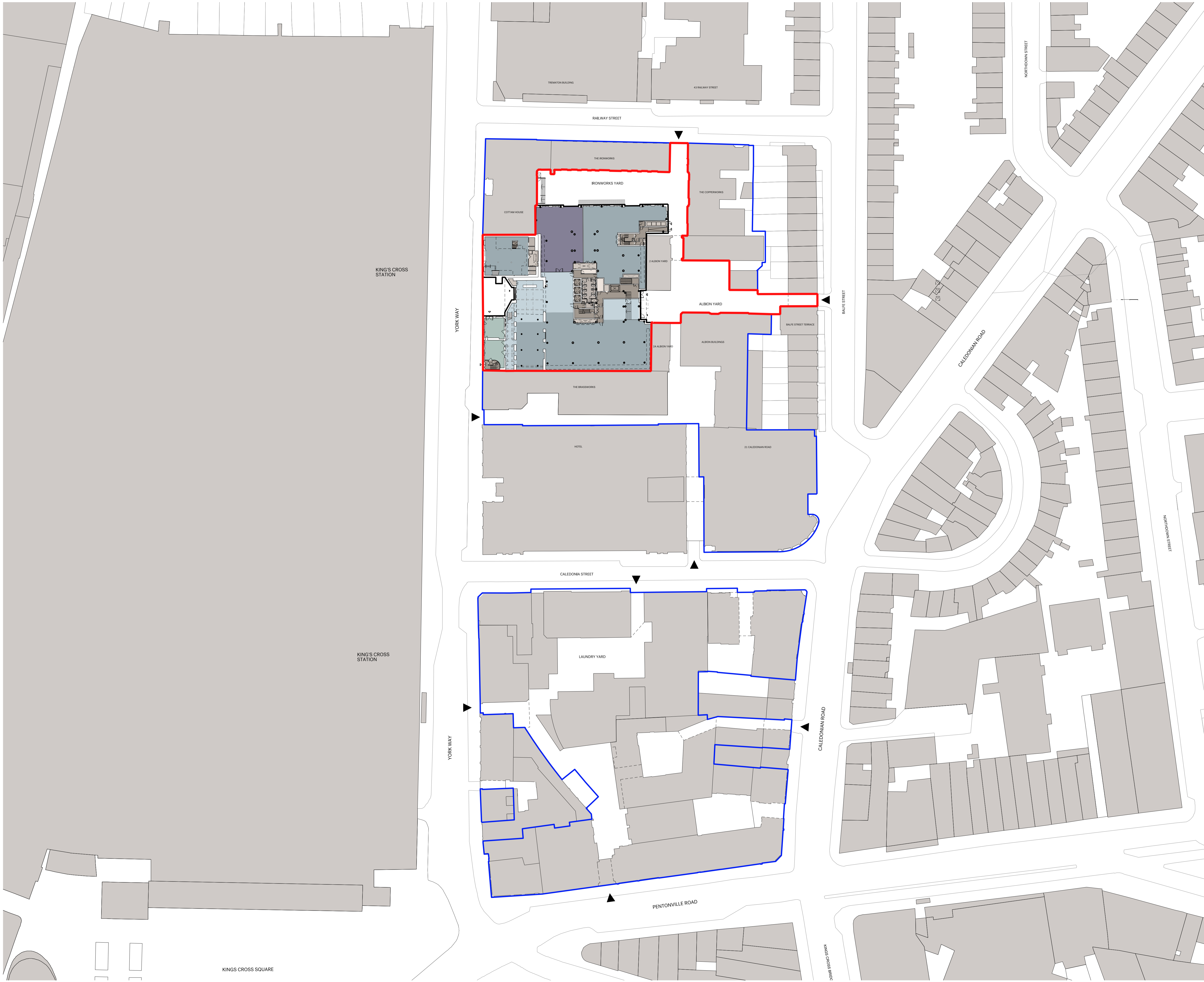
Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX	02-	200	P1

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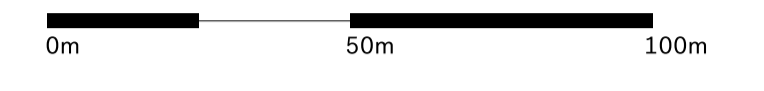




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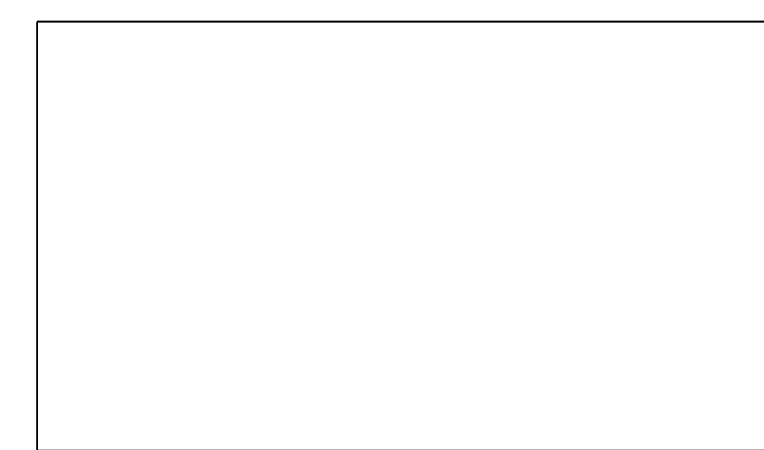
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KEY
 Application Site Boundary
 Ownership Boundary

Rev	Date	Description
P2	04.05.22	Planning Update
P1	23.11.21	Planning Update
-	30.07.21	Planning



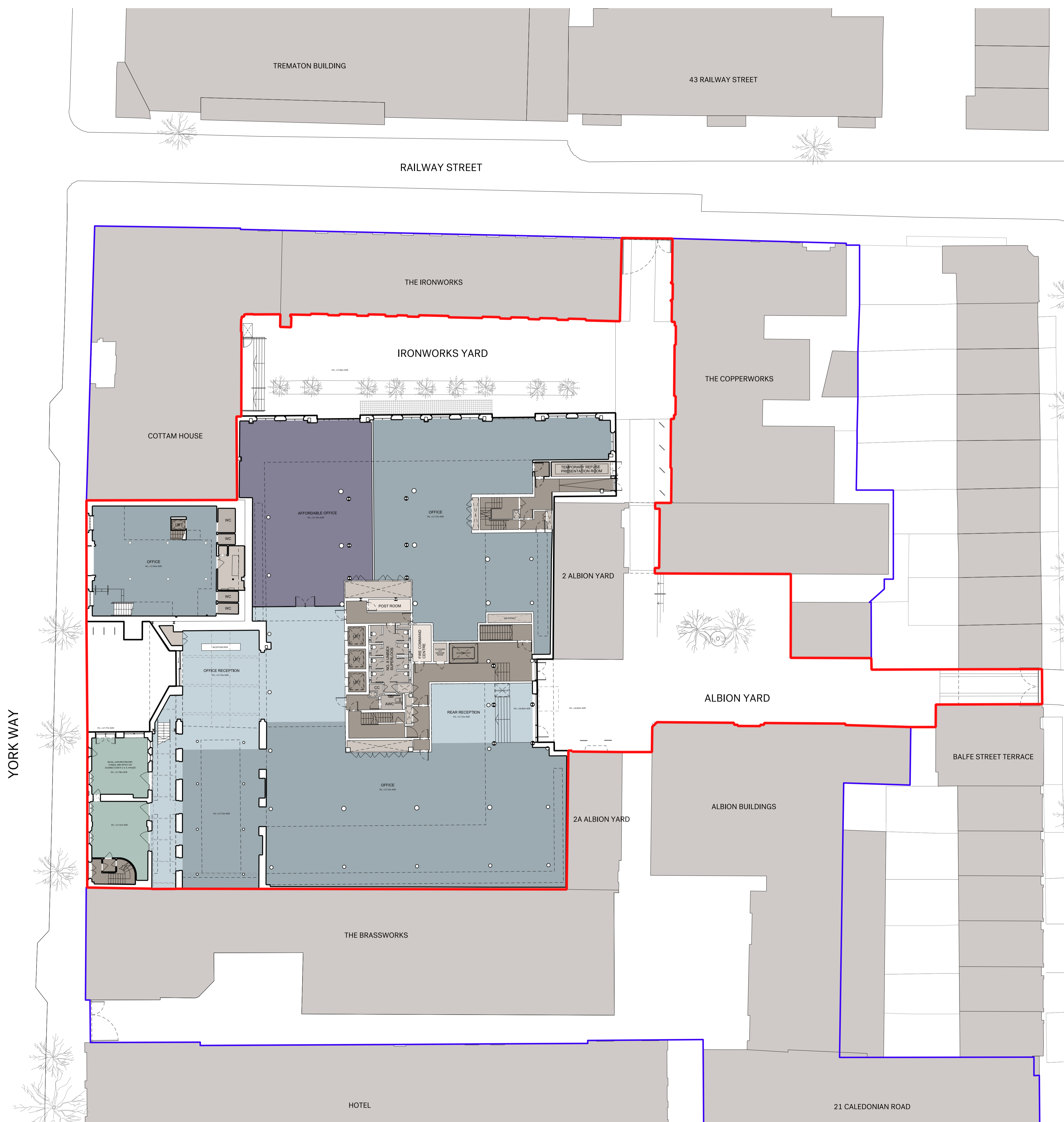
Project
 Regent Quarter - Jahn Court
Client
 Endurance Land
Date 30.07.21 **Scale** 1:500 @A1
Drawing Title

Proposed Site Plan
Drawn NS **Checked** GW **Approved** ML
Drawing Status
 Planning

Project	Disc	Zone	Level	Series	Drg No	Rev
13601-	A-	Z3-	LXX-	07-	020	P1

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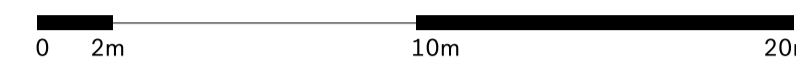




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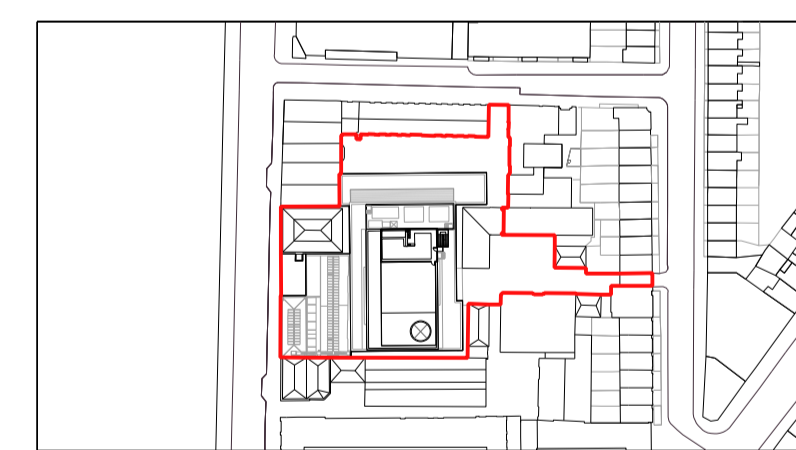
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- KEY**
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 - Affordable Office
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 - BOH
 - Plant
 - WC
 - Core & Circulation
 - Retail, Cafe / Restaurant, Fitness, and Office Use (Flexible Class E a, b, d, and g(i))
 - Terrace
 - Roof
 - Green Roof
 - Blue Roof
 - Application Boundary
 - Site Boundary
 - Ownership Boundary

Rev	Date	Description
P2	04.05.22	Planning Update
P1	17.12.21	Planning Update
-	30.07.21	Planning



Project
 Regent Quarter - Jahn Court

Client
 Endurance Land

Date
 30.07.21

Scale
 1:200 @ A1
 1:400 @ A3

Drawing Title
 Proposed Site Plan

Drawn	Checked	Approved
CG	GW	ML

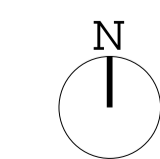
Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	L00-	07-	050-	P2

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YORK WAY



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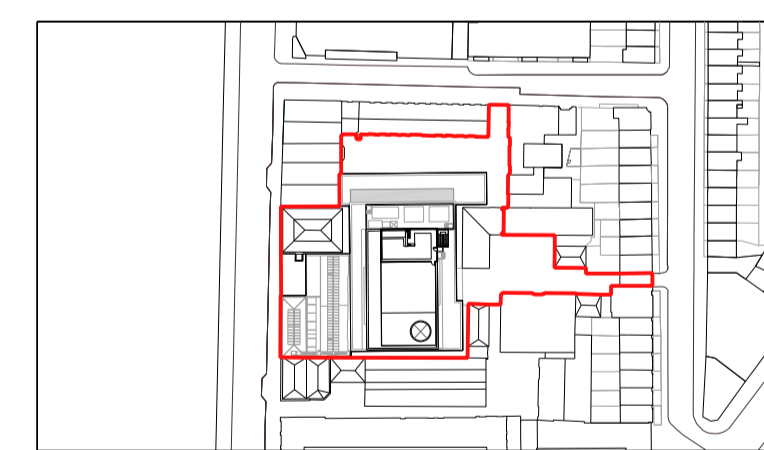
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P2	04.05.21	Planning Update
P1	17.12.21	Planning Update
-	30.07.21	Planning
Rev	Date	Description



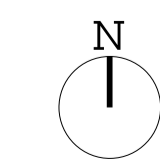
Project
 Regent Quarter - Jahn Court
Client
 Endurance Land
Date 30.07.21 **Scale** 1:100@A1
 1:200@A3

Drawing Title
 Proposed Ground Floor Plan
Drawn CG **Checked** GW **Approved** ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
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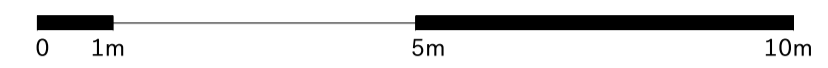
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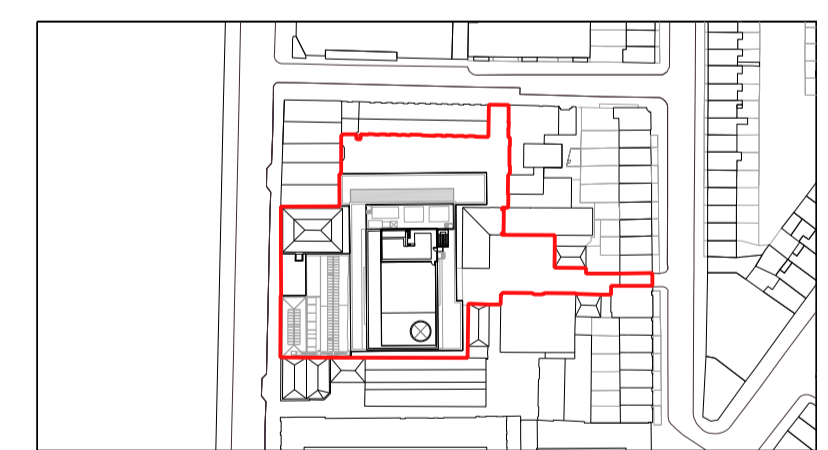
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P3	04.05.22	Planning Update
P2	26.01.22	Planning Update
P1	17.12.21	Planning Update
-	30.07.21	Planning
Rev	Date	Description



Project
 Regent Quarter - Jahn Court
Client
 Endurance Land

Date
 30.07.21
Scale
 1:100 @ A1
 1:200 @ A3

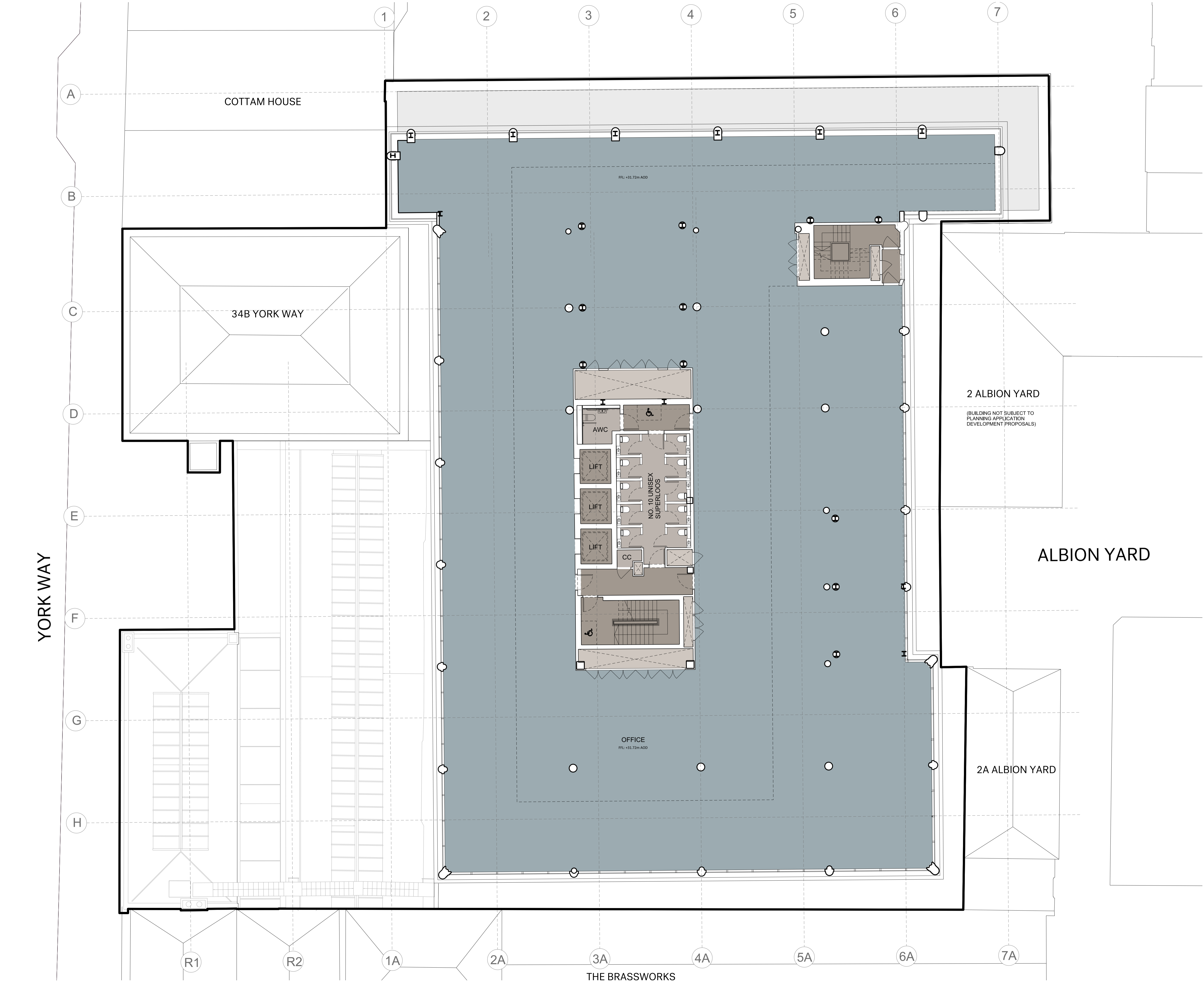
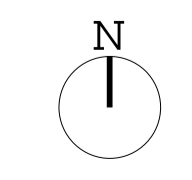
Drawing Title
 Proposed Fourth Floor Plan

Drawn CG **Checked** GW **Approved** ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drw No	Rev
13601-	A-	L04-	07-	104	P3

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YORK WAY

COTTAM HOUSE

34B YORK WAY

2 ALBION YARD

(BUILDING NOT SUBJECT TO PLANNING APPLICATION DEVELOPMENT PROPOSALS)

ALBION YARD

2A ALBION YARD

OFFICE
 FFL: +31.72m ADD

AWC

LIFT

LIFT

LIFT

CC

WC

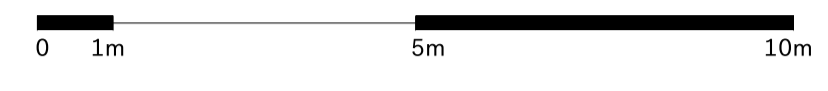
NO. 10 UNISEX SUPERLOOS

THE BRASSWORKS

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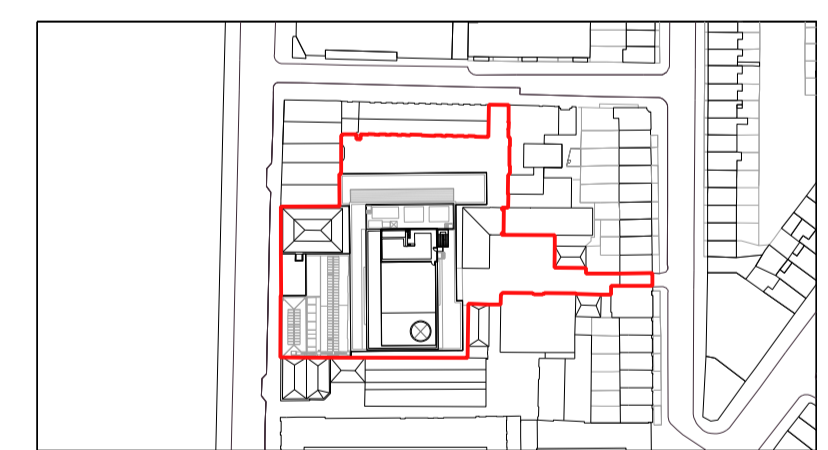
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 - Roof
 - Green Roof
 - Blue Roof
 - Application Boundary
 - Site Boundary

P3	04.05.22	Planning Update
P2	26.01.22	Planning Update
P1	17.12.21	Planning Update
-	30.07.21	Planning
Rev	Date	Description



Project
 Regent Quarter - Jahn Court
 Client
 Endurance Land

Date 30.07.21 Scale 1:100 @ A1
 1:200 @ A3

Drawing Title
 Proposed Fifth Floor Plan

Drawn CG	Checked GW	Approved ML
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Drawing Status
 Planning

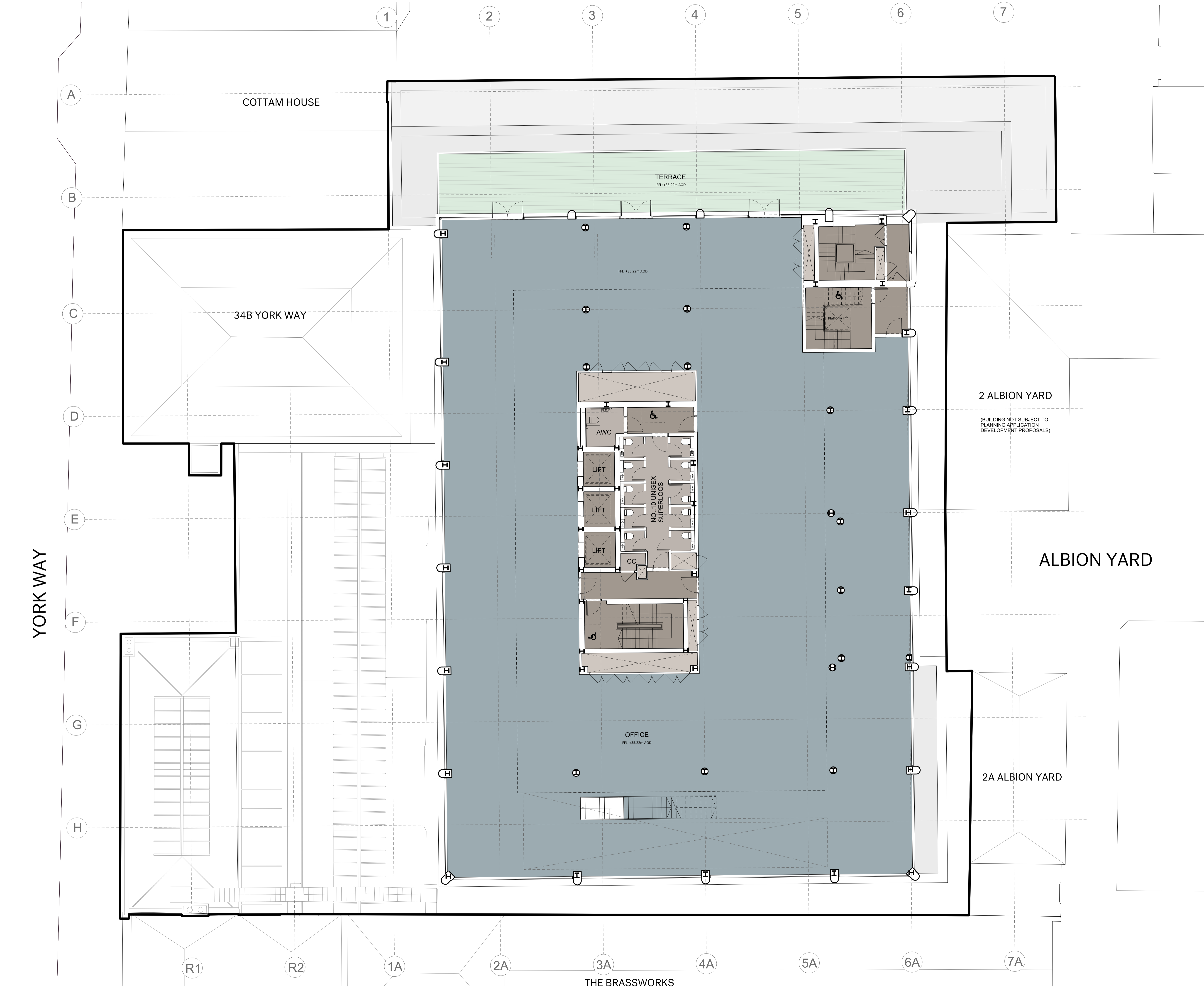
Project 13601-	Disc A-	Level L05-	Series 07-	Drw No 105	Rev P3
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Piercy & Company



YORK WAY

COTTAM HOUSE

34B YORK WAY

TERRACE
 FFL +35.22m AOD

FFL +35.22m AOD

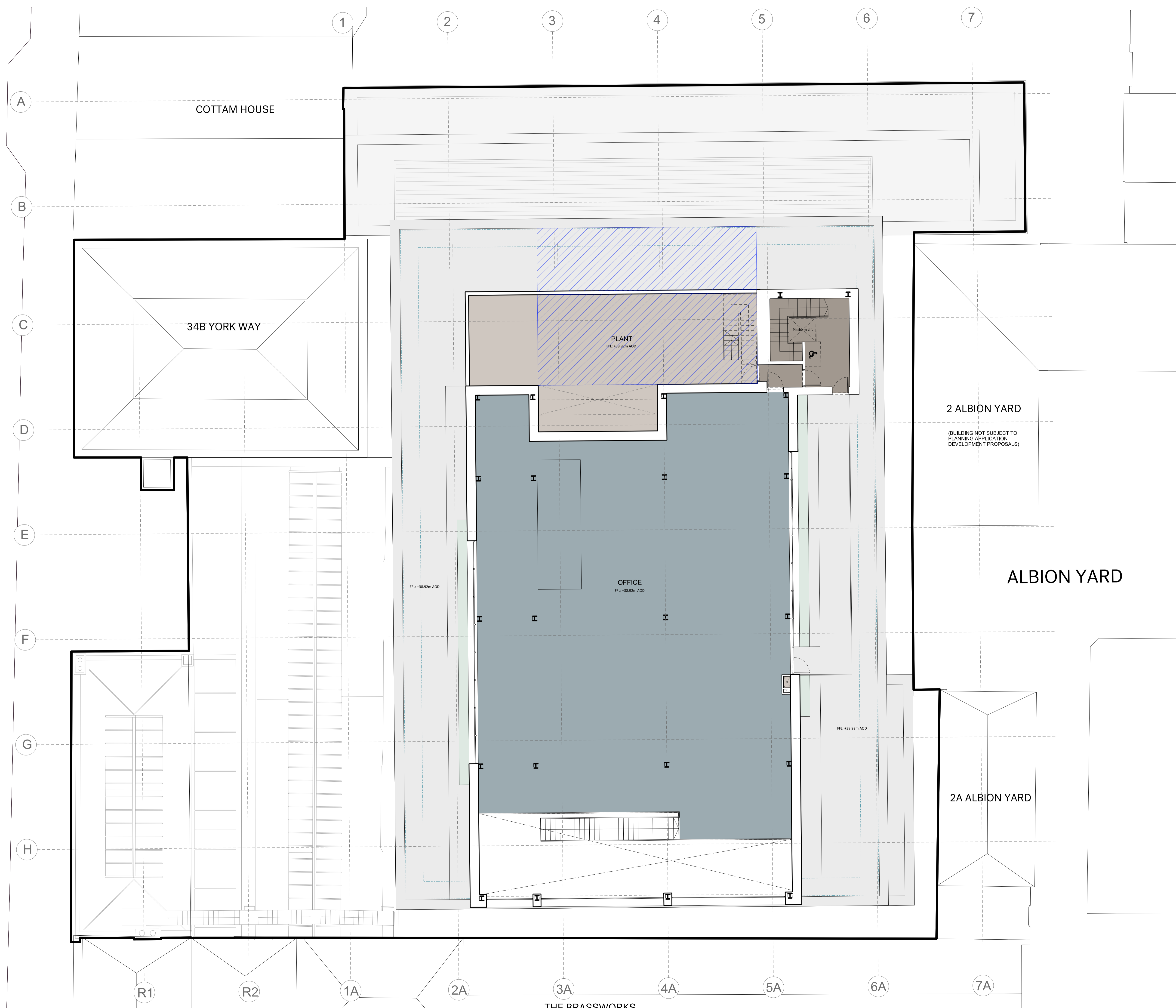
OFFICE
 FFL +35.22m AOD

2 ALBION YARD
 (BUILDING NOT SUBJECT TO
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 DEVELOPMENT PROPOSALS)

ALBION YARD

2A ALBION YARD

THE BRASSWORKS



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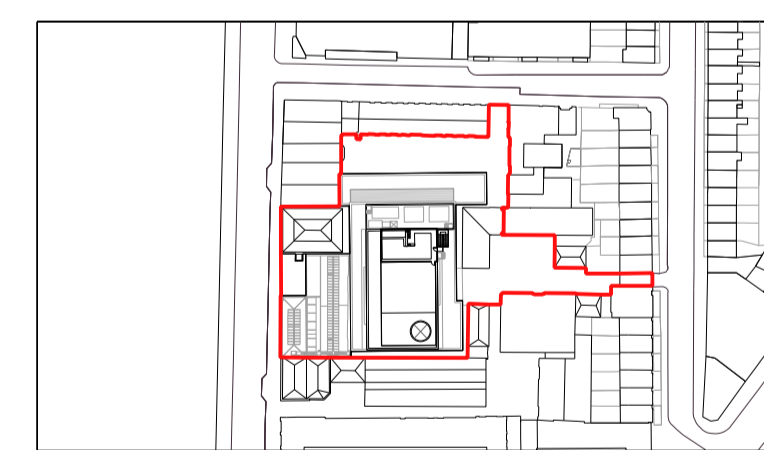
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 - Blue Roof
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 - Site Boundary

P3	04.05.22	Planning Update
P2	26.01.22	Planning Update
P1	17.12.21	Planning Update
-	30.07.21	Planning
Rev	Date	Description



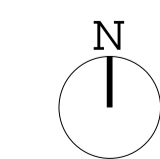
Project
 Regent Quarter - Jahn Court
Client
 Endurance Land
Date
 30.07.21
Scale
 1:100 @ A1
 1:200 @ A3

Drawing Title
 Proposed Fifth Floor Gallery Plan
Drawn
 CG
Checked
 GW
Approved
 ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drw No	Rev
13601-	A-	L06-	07-	106	P3

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YORK WAY

COTTAM HOUSE

34B YORK WAY

2 ALBION YARD
 (BUILDING NOT SUBJECT TO
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 DEVELOPMENT PROPOSALS)

ALBION YARD

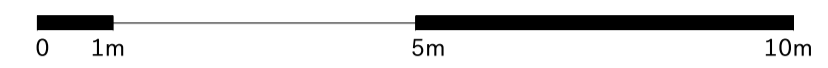
2A ALBION YARD

THE BRASSWORKS

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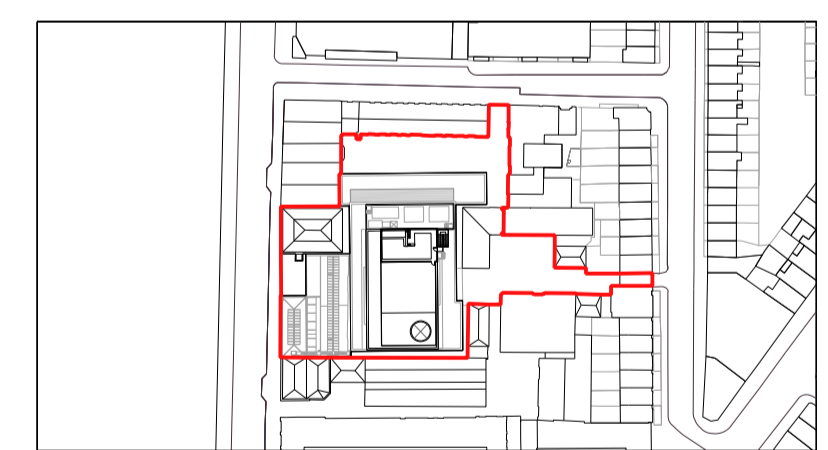
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 - Green Roof
 - Blue Roof
 - Application Boundary
 - Site Boundary

P3	04.05.22	Planning Update
P2	26.01.22	Planning Update
P1	17.12.21	Planning Update
-	30.07.21	Planning
Rev	Date	Description



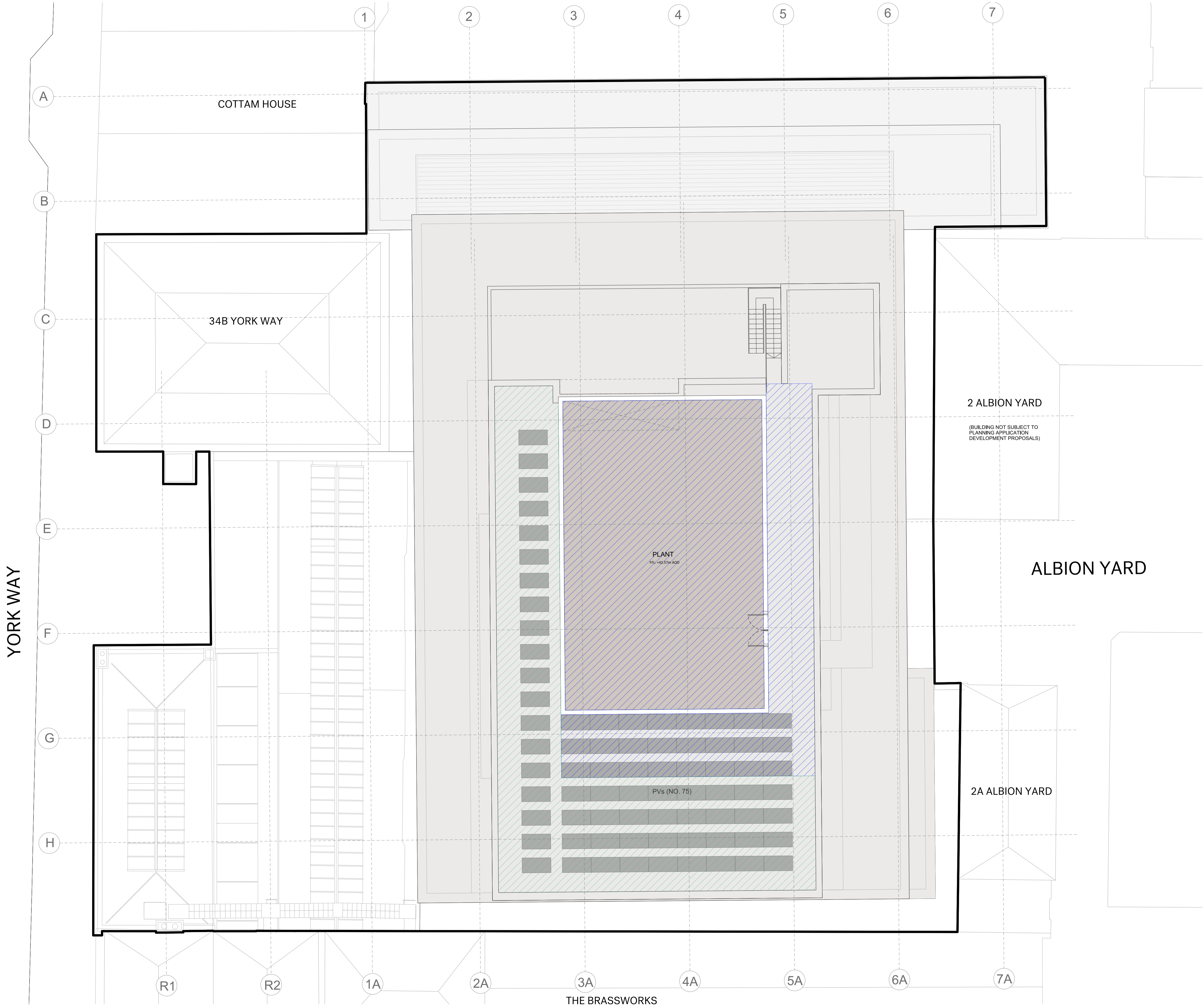
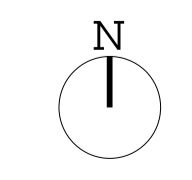
Project
 Regent Quarter - Jahn Court
Client
 Endurance Land
Date 30.07.21 **Scale** 1:100@A1
 1:200@A3

Drawing Title
 Proposed Roof Plan
Drawn CG **Checked** GW **Approved** ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drw No	Rev
13601-	A-	RF-	07-	107	P3

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YORK WAY

COTTAM HOUSE

34B YORK WAY

PLANT
 FFL+42.57m AOD

PVs (NO. 75)

2 ALBION YARD

(BUILDING NOT SUBJECT TO
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 DEVELOPMENT PROPOSALS)

ALBION YARD

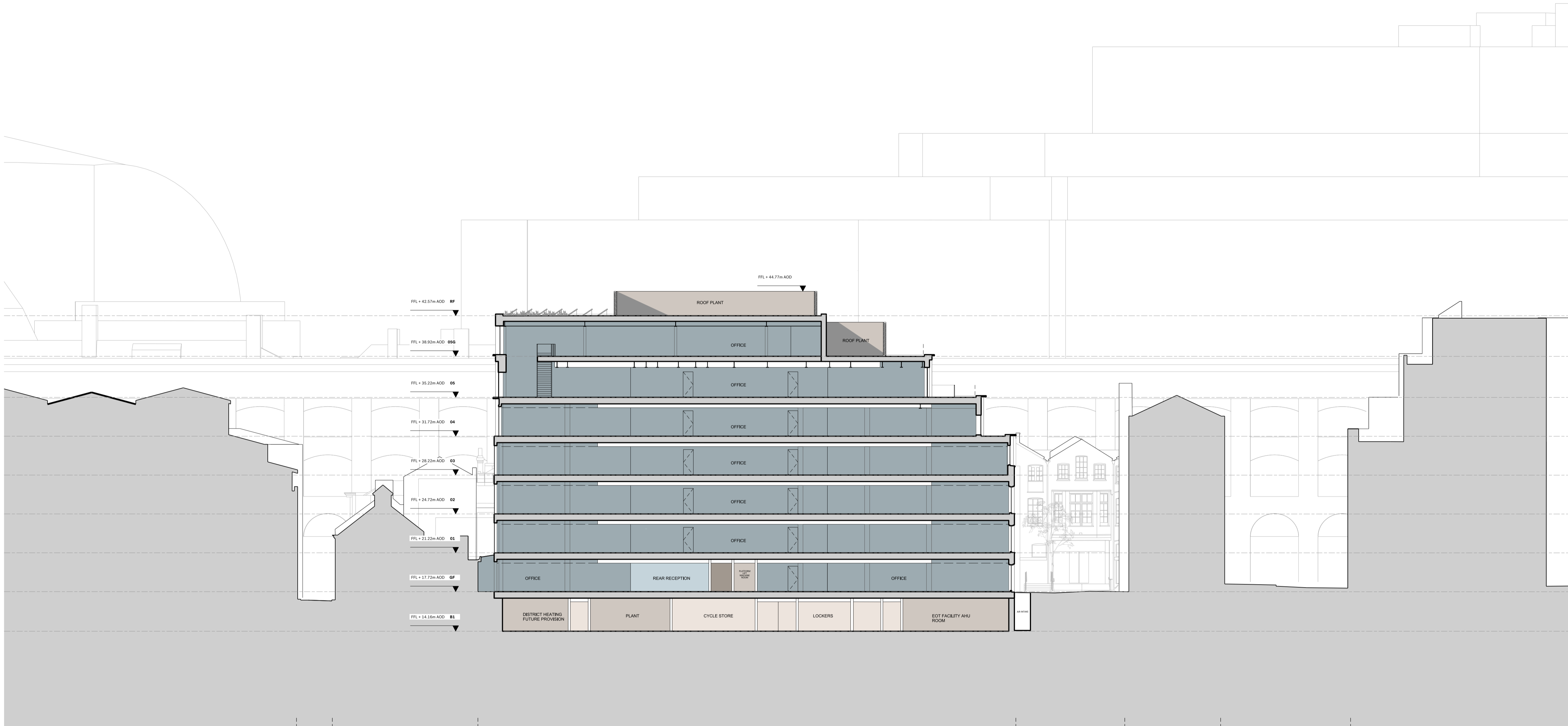
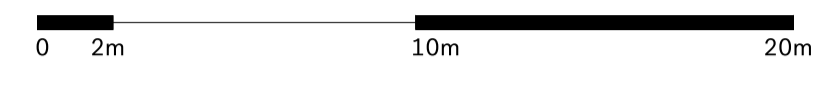
2A ALBION YARD

THE BRASSWORKS

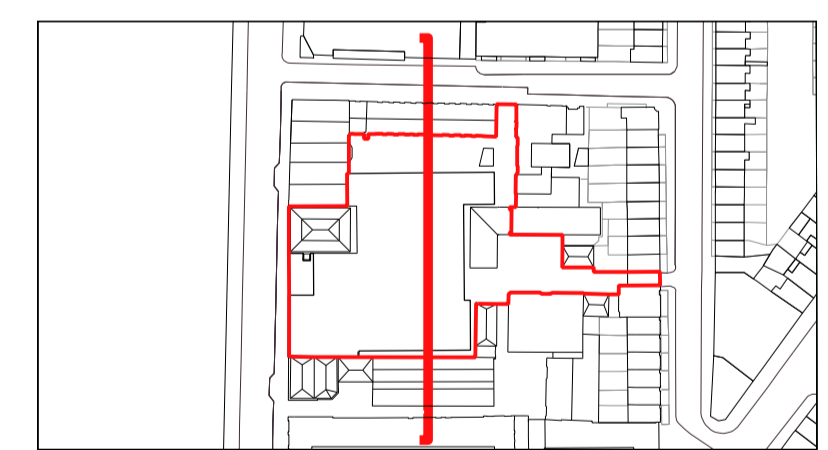
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P2	04.05.22	Planning Update
P1	23.11.21	Planning Update
-	30.07.21	Planning
Rev	Date	Description



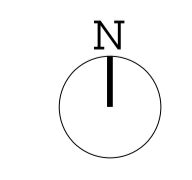
Project
 Regent Quarter - Jahn Court
Client
 Endurance Land
Date
 30.07.21
Scale
 1:200 @ A1
 1:400 @ A3

Drawing Title
 Proposed Site Section AA
Drawn
 CG
Checked
 GW
Approved
 ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	160	P2

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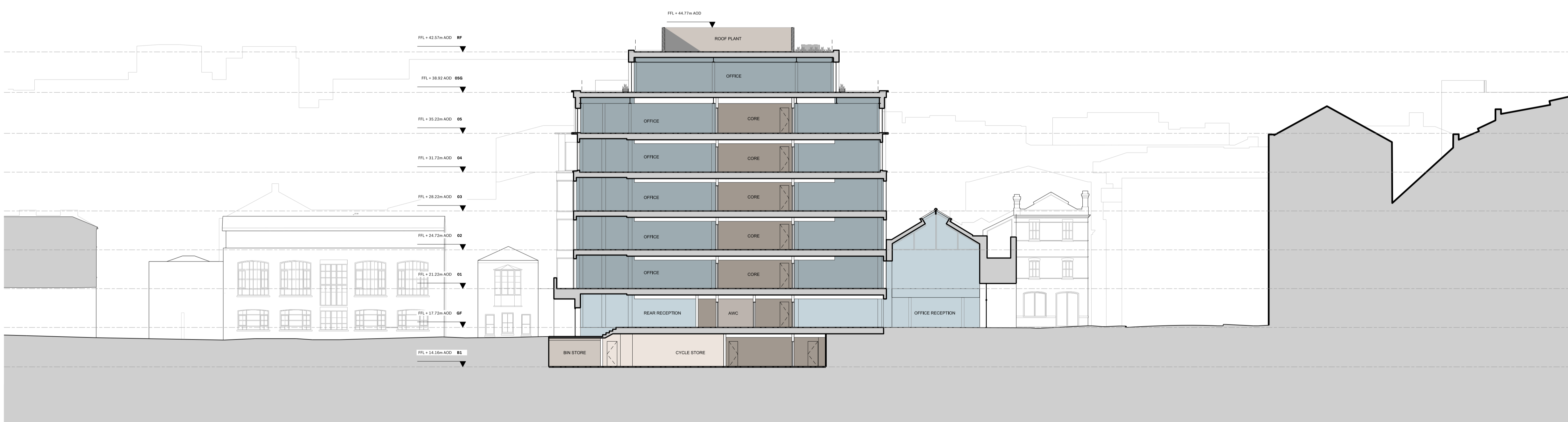
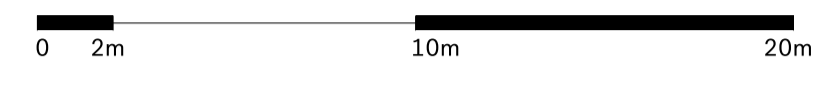
HOTEL ALBION WALK THE BRASSWORKS JAHN COURT IRONWORKS YARD THE IRONWORKS RAILWAY STREET TREMATON BUILDING

APPLICATION SITE

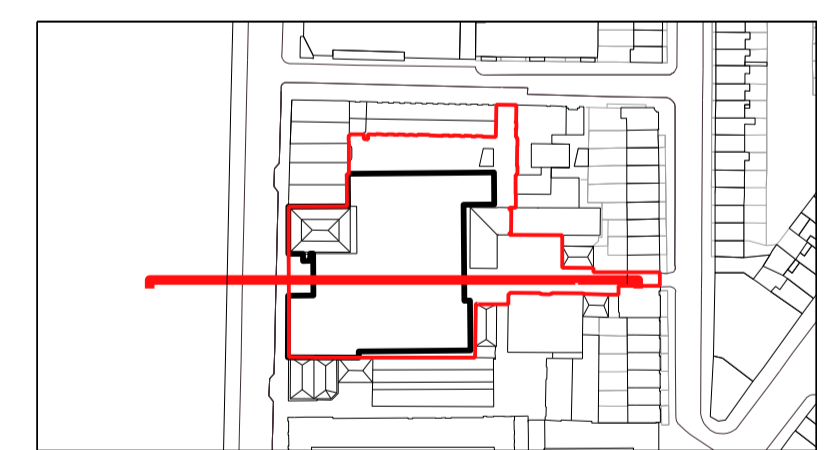
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Rev	Date	Description
P2	04.05.22	Planning Update
P1	23.11.21	Planning Update
-	30.07.21	Planning



Project
 Regent Quarter - Jahn Court
 Client
 Endurance Land

Date	Scale
30.07.21	1:200 @A1 1:400 @A3

Drawing Title
 Proposed Site Section DD

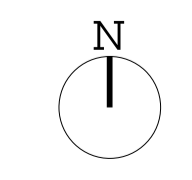
Drawn	Checked	Approved
CG	GW	ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	161-	P2

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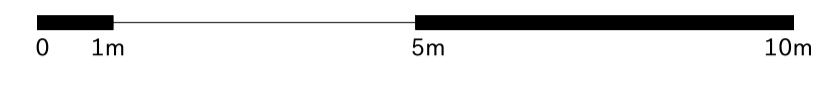


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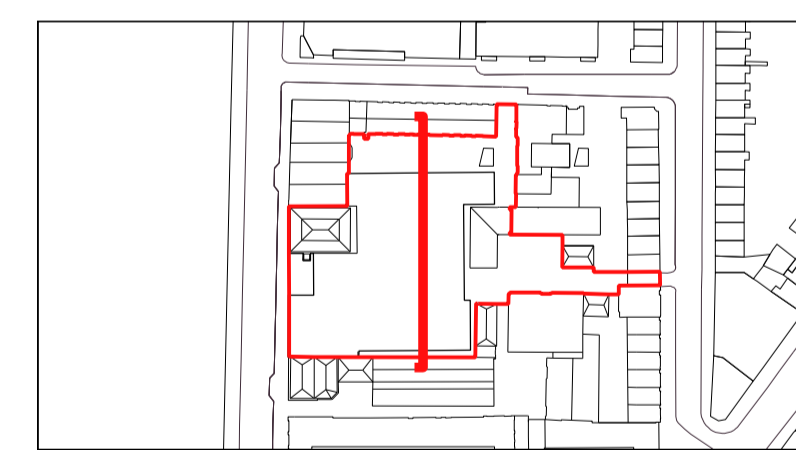
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- KEY**
- ① Retained Curtain Walling
 - ② Retained Brickwork
 - ③ Retained Metal & Glass Facade
 - ④ Retained Roof & Glazed Rooflight
 - ⑤ Grey Coloured Metal Cladding
 - ⑥ Green Coloured Profiled Metal
 - ⑦ Metal Framed Glazing
 - ⑧ Brickwork (Red)
 - ⑨ Textured Brickwork (Red)
 - ⑩ Red Coloured Metalwork
 - ⑪ Plant Screen - To Match Green Metal Cladding
 - ⑫ Green Coloured Canopy

Rev	Date	Description
P3	04.05.22	Planning Update
P2	23.11.21	Planning Update
P1	29.10.21	Planning Update
-	30.07.21	Planning



Project
 Regent Quarter - Jahn Court

Client
 Endurance Land

Date 30.07.21 **Scale** 1:100 @ A1
 1:200 @ A3

Drawing Title
 Proposed Section AA

Drawn CG **Checked** GW **Approved** ML

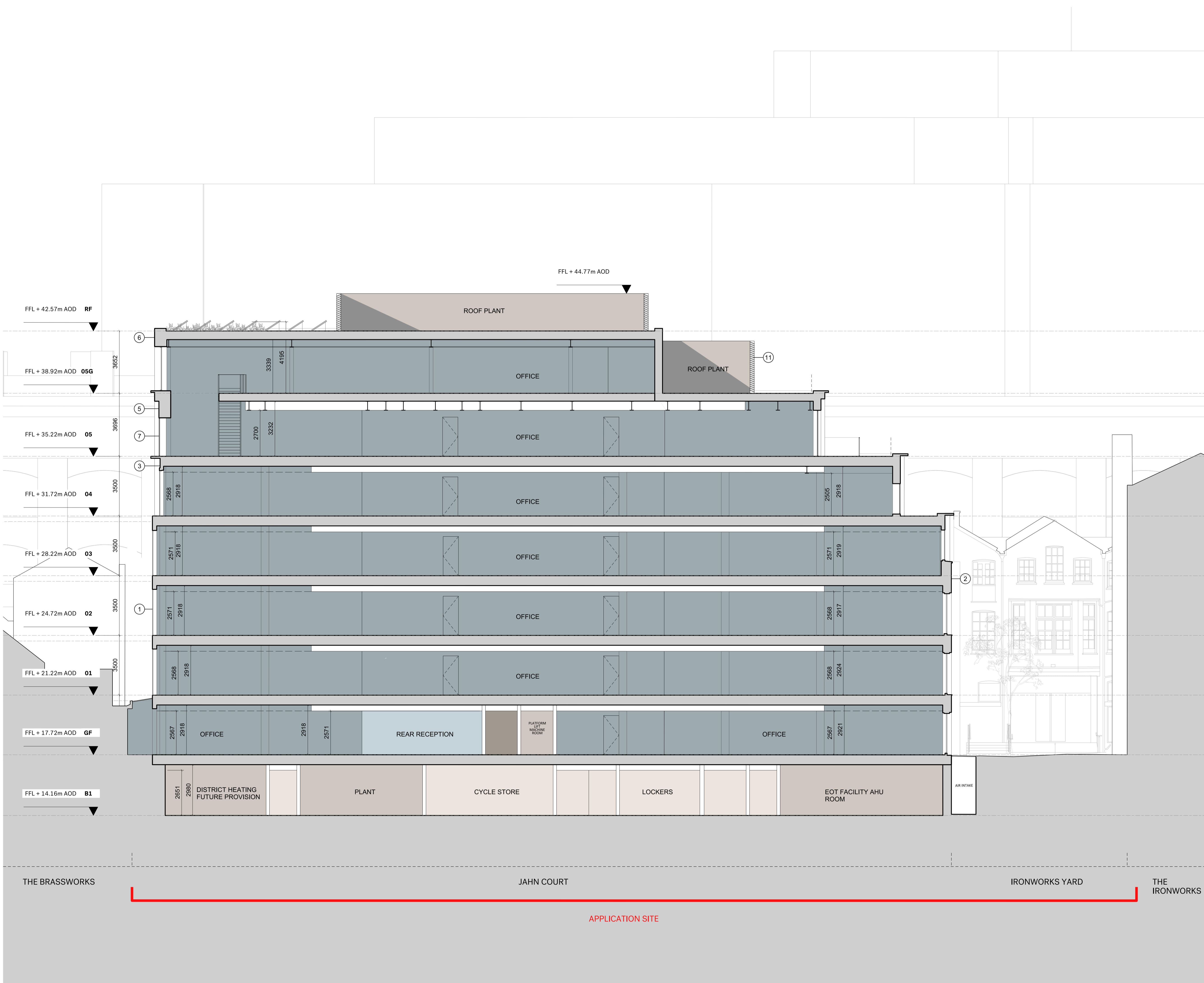
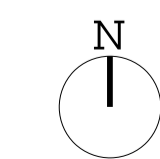
Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	300	P3

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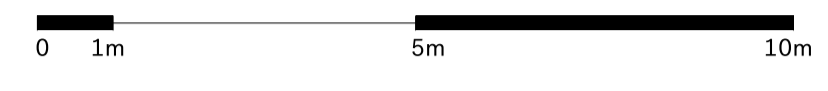
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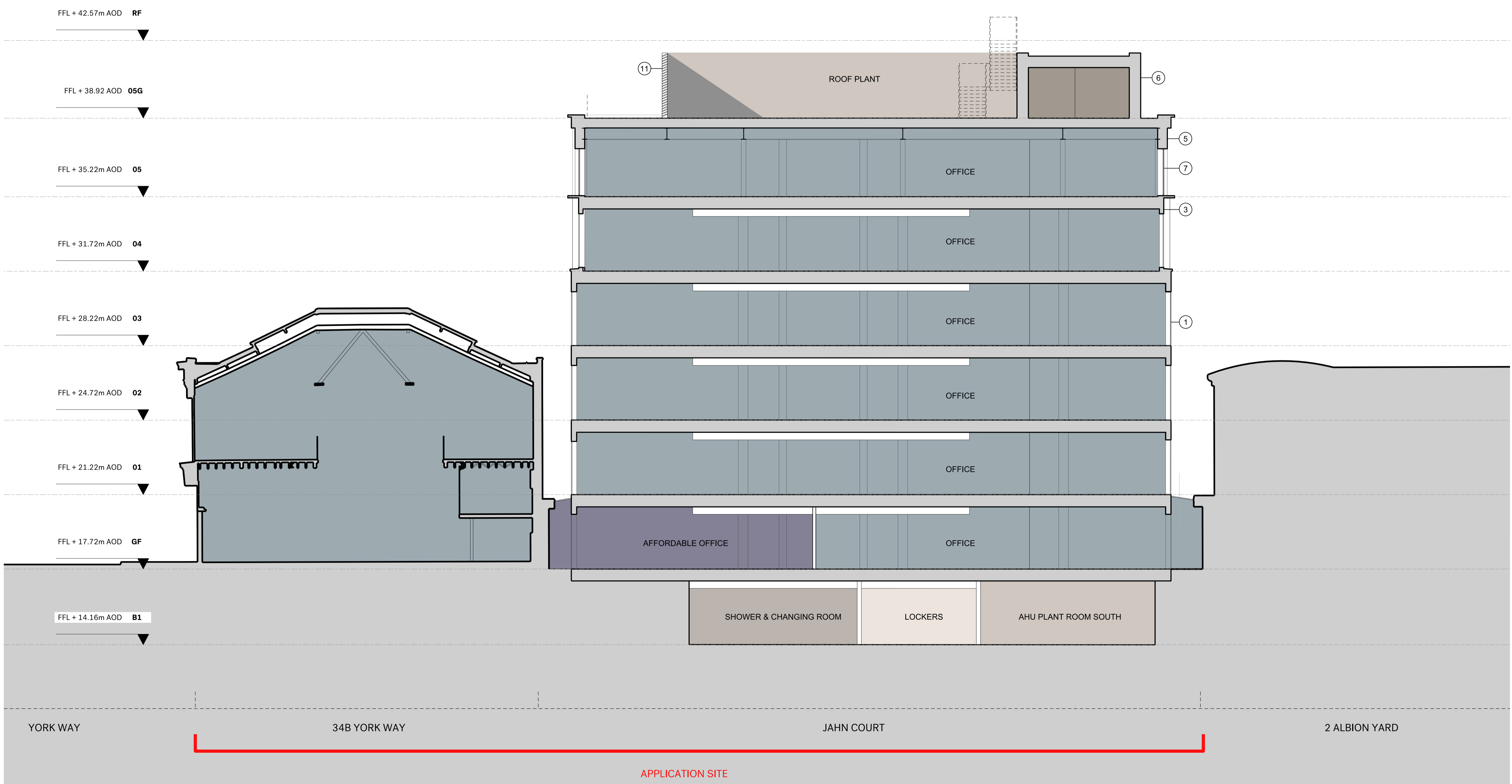
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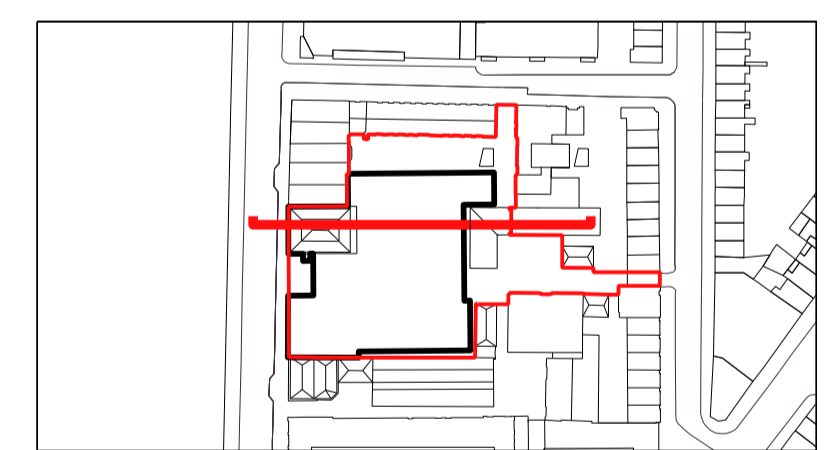
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 - ⑫ Green Coloured Canopy



Rev	Date	Description
P2	04.05.22	Planning Update
P1	29.10.21	Planning Update
-	30.07.21	Planning



Project
 Regent Quarter - Jahn Court

Client
 Endurance Land

Date
 30.07.21

Scale
 1:100@A1
 1:200@A3

Drawing Title
 Proposed Section BB

Drawn
 CG

Checked
 GW

Approved
 ML

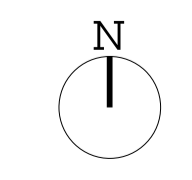
Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	301	P2

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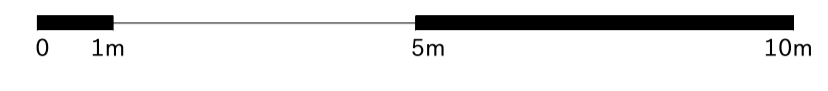
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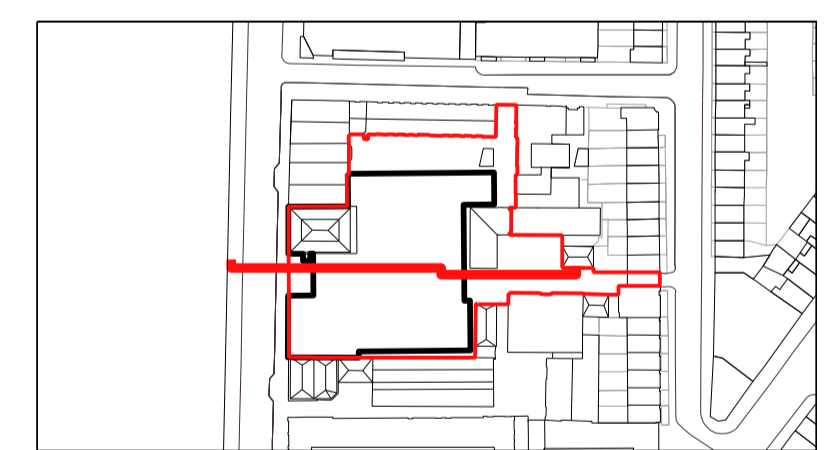
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KEY

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P3	04.05.22	Planning Update
P2	26.01.22	Planning Update
P1	23.11.21	Planning Update
-	30.07.21	Planning
Rev	Date	Description



Project
 Regent Quarter - Jahn Court

Client
 Endurance Land

Date
 30.07.21

Scale
 1:100@A1
 1:200@A3

Drawing Title
 Proposed Section CC

Drawn
 CG

Checked
 GW

Approved
 ML

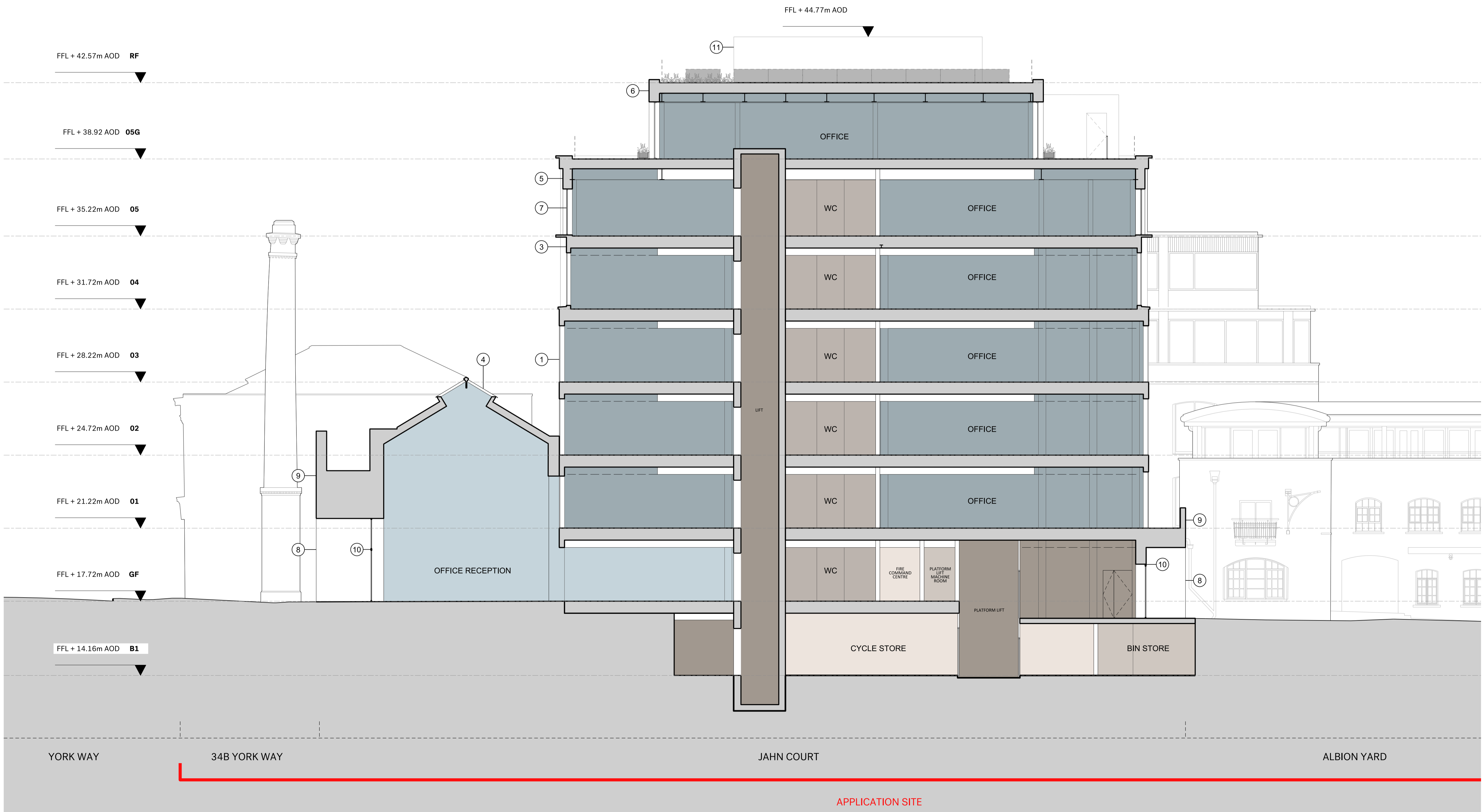
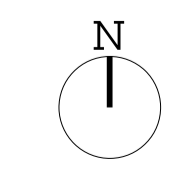
Drawing Status
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Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	302	P3

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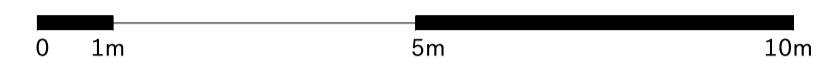
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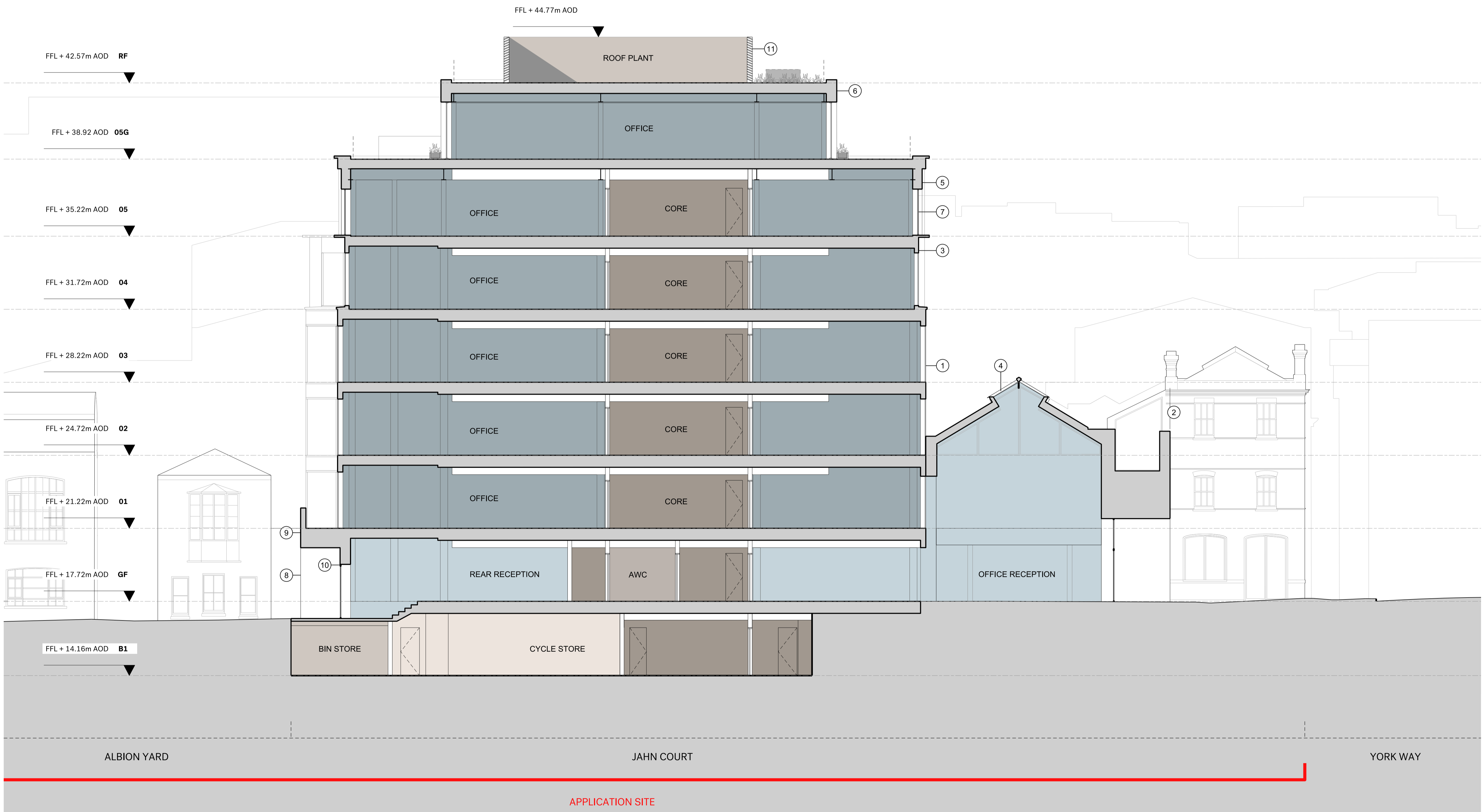
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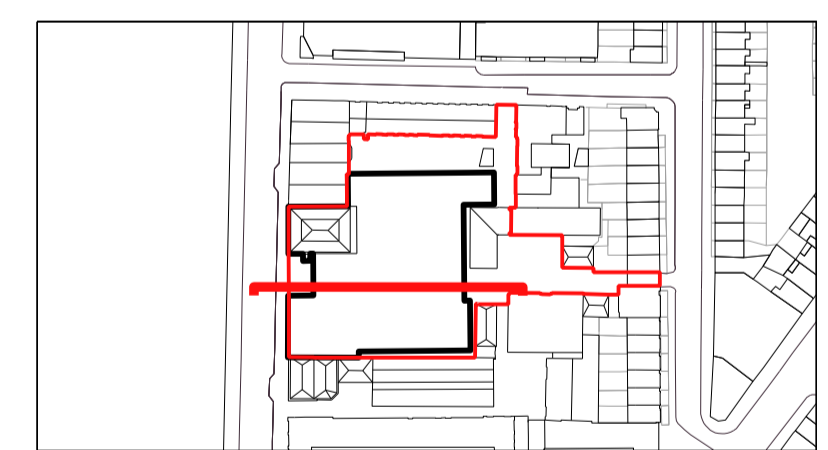
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- KEY**
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 - ⑩ Red Coloured Metalwork
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 - ⑫ Green Coloured Canopy



P2	04.05.22	Planning Update
P1	23.11.21	Planning Update
-	30.07.21	Planning
Rev	Date	Description



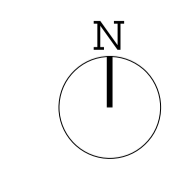
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 Regent Quarter - Jahn Court
 Client
 Endurance Land
 Date
 30.07.21
 Scale
 1:100@A1
 1:200@A3
 Drawing Title

Proposed Section DD
 Drawn
 CG
 Checked
 GW
 Approved
 ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	303	P2

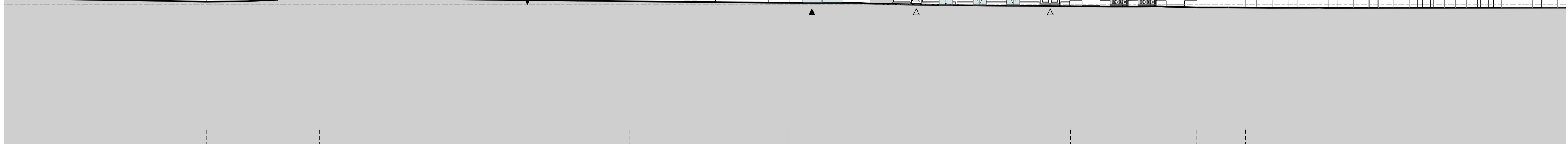
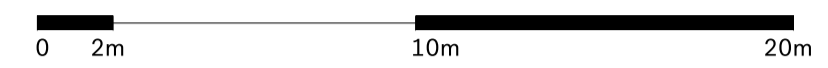
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TREMATON BUILDING

RAILWAY STREET

COTTAM HOUSE

34B YORK WAY

JAHN COURT

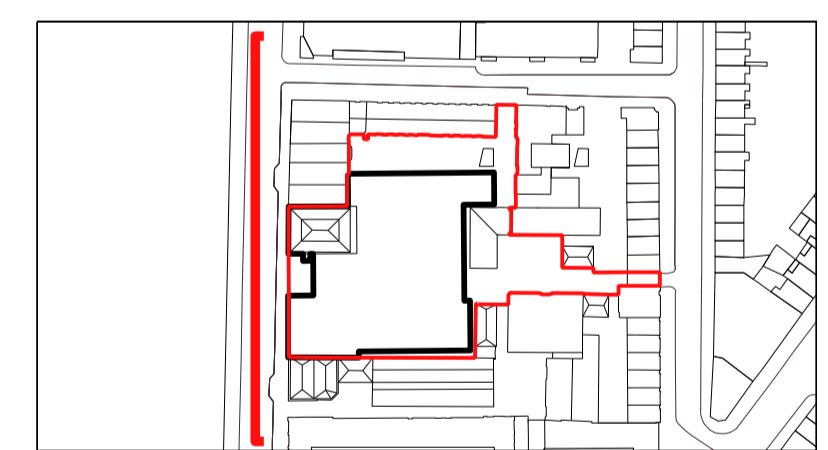
THE BRASSWORKS

ALBION WALK

HOTEL

APPLICATION SITE

Rev	Date	Description
P2	04.05.22	Planning Update
P1	23.11.21	Planning Update
-	30.07.21	Planning



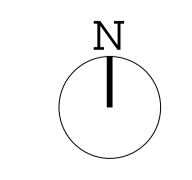
Project
 Regent Quarter - Jahn Court
 Client
 Endurance Land
 Date 30.07.21 Scale 1:200 @ A1
 1:400 @ A3
 Drawing Title

Proposed West Site Elevation
 Drawn CG Checked GW Approved ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	150	P2

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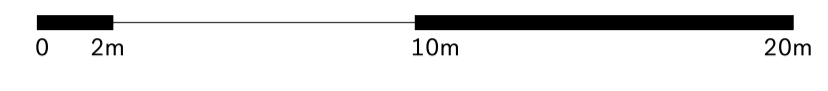


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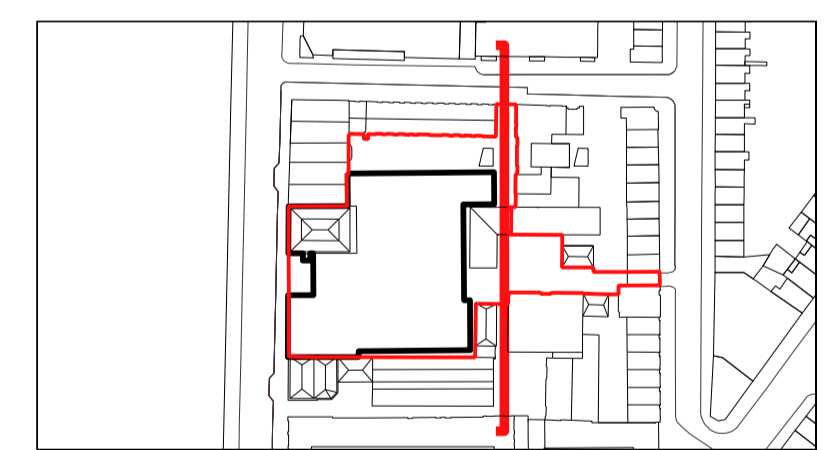
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HOTEL ALBION WALK THE BRASSWORKS 2A ALBION YARD JAHN COURT 2 ALBION YARD JAHN COURT IRONWORKS YARD THE IRONWORKS RAILWAY STREET TREMATON BUILDING

APPLICATION SITE

P3	04.05.22	Planning Update
P2	23.11.21	Planning Update
P1	29.10.21	Planning Update
-	30.07.21	Planning
Rev	Date	Description



Project
 Regent Quarter - Jahn Court
Client
 Endurance Land
Date
 30.07.21
Scale
 1:200 @ A1
 1:400 @ A3
Drawing Title

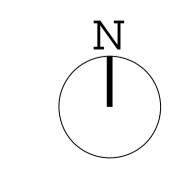
Proposed East Site Elevation

Drawn	Checked	Approved
CG	GW	ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	151	P3

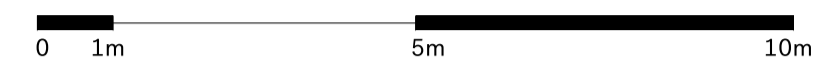
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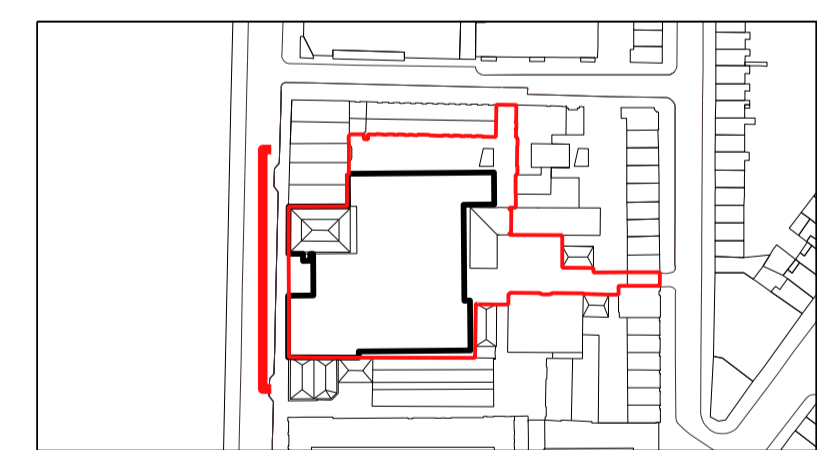
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- ⑫ New Glazed Doors
- ⑬ Replacement Glazed Door to be Agreed by Planning Condition

P2	04.05.22	Planning
P1	23.11.21	Planning
-	30.07.21	Planning
Rev	Date	Description



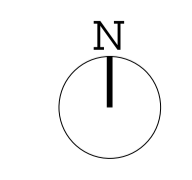
Project	
Regent Quarter - Jahn Court	
Client	
Endurance Land	
Date	Scale
30.07.21	1:100@A1 1:200@A3
Drawing Title	
Proposed West Elevation	

Drawn	Checked	Approved
CG	GW	ML

Drawing Status
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Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	200	P2

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COTTAM HOUSE

34B YORK WAY

JAHN COURT

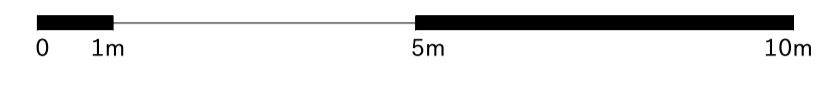
BRASSWORKS BUILDING

APPLICATION SITE

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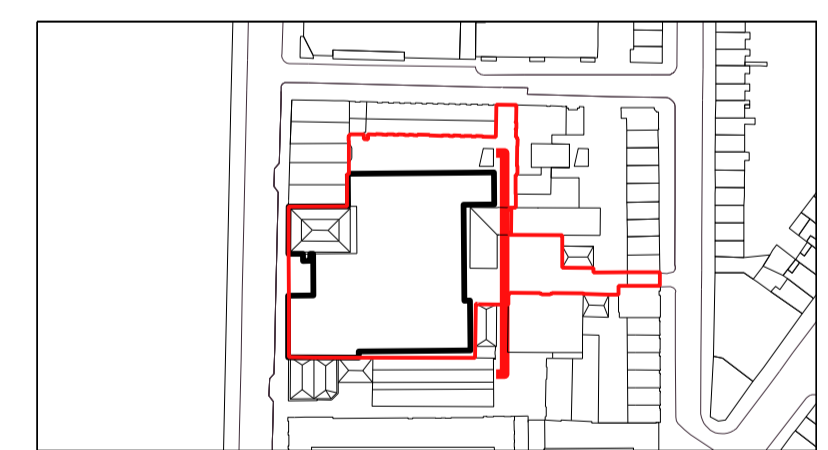
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Rev	Date	Description
P4	04.05.22	Planning Update
P3	26.01.22	Planning Update
P2	23.11.21	Planning Update
P1	29.10.21	Planning Update
-	30.07.21	Planning



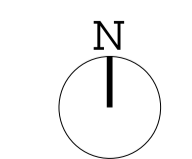
Project
 Regent Quarter - Jahn Court
Client
 Endurance Land
Date
 30.07.21
Scale
 1:100 @A1
 1:200 @A3

Drawing Title
 Proposed East Elevation
Drawn
 CG
Checked
 GW
Approved
 ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	201	P4

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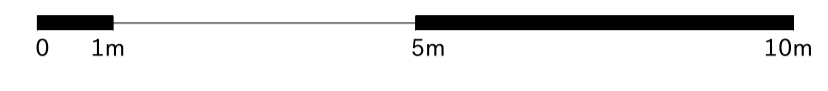
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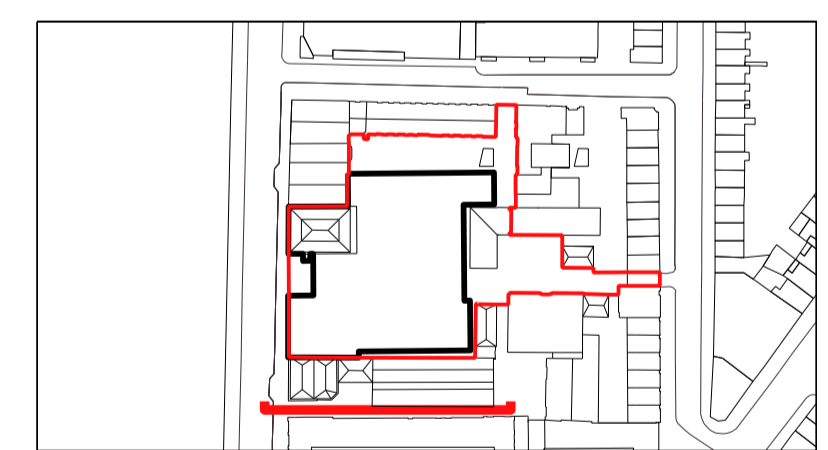
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P3	04.05.22	Planning Update
P2	26.01.22	Planning Update
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-	30.07.21	Planning
Rev	Date	Description



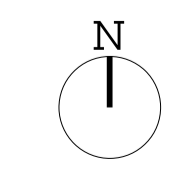
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Client	
Endurance Land	
Date	Scale
30.07.21	1:100 @A1 1:200 @A3
Drawing Title	

Proposed South Elevation		
Drawn	Checked	Approved
CG	GW	ML

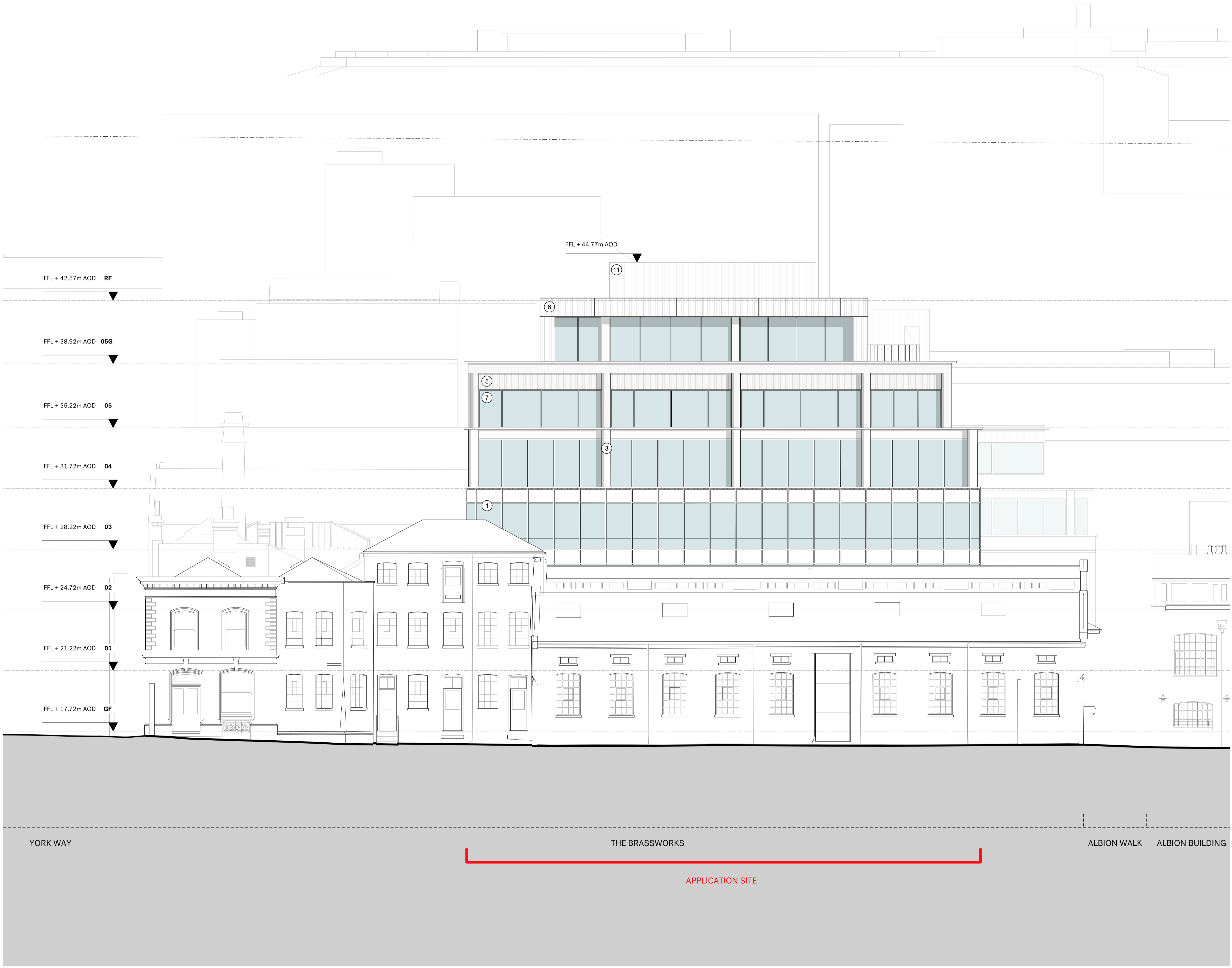
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Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	202	P3

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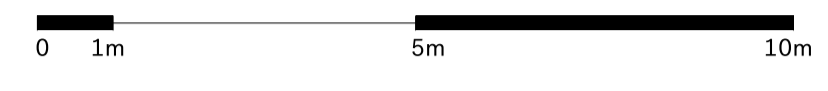
YORK WAY THE BRASSWORKS ALBION WALK ALBION BUILDING

APPLICATION SITE

Notes
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 All dimensions and levels to be checked on site by the contractor and such dimensions to be his responsibility.
 Report all drawing errors, omissions and discrepancies to the architect.

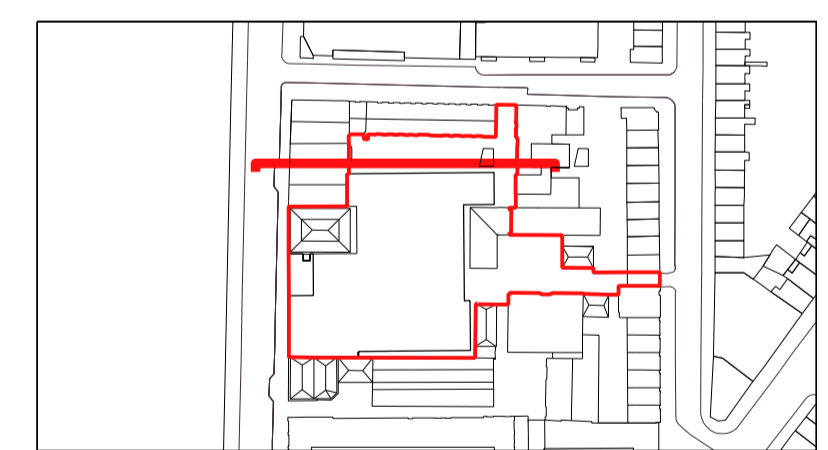
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- KEY**
- ① Retained Curtain Walling
 - ② Retained Brickwork
 - ③ Retained Metal & Glass Facade
 - ④ Retained Roof & Glazed Rooflight
 - ⑤ Grey Coloured Metal Cladding
 - ⑥ Green Coloured Profiled Metal
 - ⑦ Metal Framed Glazing
 - ⑧ Brickwork (Red)
 - ⑨ Textured Brickwork (Red)
 - ⑩ Red Coloured Metalwork
 - ⑪ Plant Screen - To Match Green Metal Cladding
 - ⑫ New Glazed Doors
 - ⑬ Replacement Glazed Door to be Agreed by Planning Condition

Rev	Date	Description
P3	04.05.22	Planning Update
P2	26.01.22	Planning Update
P1	23.11.21	Planning Update
-	30.07.21	Planning



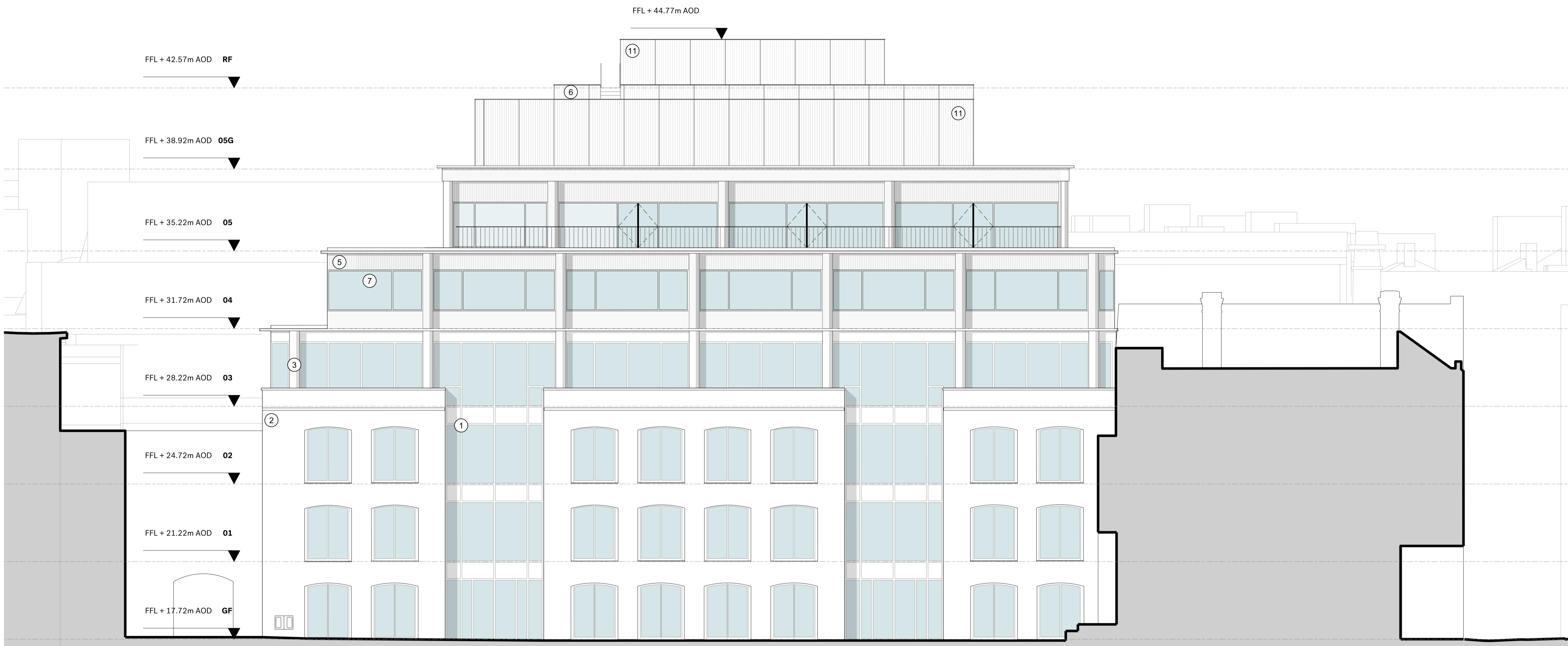
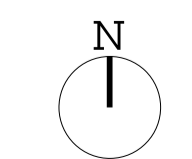
Project
 Regent Quarter - Jahn Court
Client
 Endurance Land
Date 30.07.21 **Scale** 1:100 @A1
 1:200 @A3

Drawing Title
 Proposed North Elevation
Drawn CG **Checked** GW **Approved** ML

Drawing Status
 Planning

Project	Disc	Level	Series	Drg No	Rev
13601-	A-	LXX-	07-	203	P3

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THE COPPERWORKS 2 ALBION YARD JAHN COURT COTTAM HOUSE YORK WAY

APPLICATION SITE